

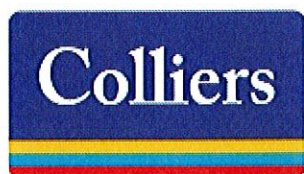
3584 Old Lake Road

PLANNED DISTRICT

PREPARED FOR:

Advance Land and Timber, LLC

Columbus County, North Carolina



**Engineering
& Design**

Table of Contents

List of Exhibits.....	3
Project Introduction.....	4
Existing Conditions (Exhibits 1 - 4).....	4
Phasing (Exhibit 5).....	4
Site Design and Development Standards	5
Stormwater Management	5
Utility Services	5
Fire Coverage.....	6
Proposed Streets & Parking	6
Ownership of Common Areas & Utilities	6
Common Areas	6
Utilities	7
Lot Criteria Development Summary	7
Density Analysis	9
Open Space Analysis.....	9
Buffers & Tree Preservation	10
Amenity Center, Sales Models & Construction Trailer	10
Commercial Parcels	11
Development Performance Security	11
Signage & Monumentation.....	11

List of Exhibits

Exhibit 1 – TMS Numbers and Acreage

Exhibit 2 – FEMA (Flood Map)

Exhibit 3 – Soils

Exhibit 4 –Wetland

Exhibit 5 – Phasing Plan

Project Introduction

The property, known as 3584 Old Lake Road, is located along Old Lake Road in Columbus County, North Carolina. See Exhibit 1 for parcel identification number and acreage. For this request of a change in zoning, the property shall be known as "3584 Old Lake Road" and consist of approximately 1,049.86 +/- acres. The proposed development will consist of single family residential and commercial uses. 3584 Old Lake Road proposes the rights for a mixed-use development to include a variety of single-family residential lot sizes, outlined later in this document, and commercial uses along the Old Lake Road frontage.

The existing conditions of the site are outlined in Exhibits 1-6 of this document. This request for a property zoning change includes a concept plan reflecting the residential and commercial locations within the property with acreage and proposed densities. A full development plan describing the development's street network, utility system locations, and stormwater devices will be prepared once the property has been zoned to the requested Planned District (PD) zoning designation.

Existing Conditions (Exhibits 1 - 4)

The subject property is currently owned by one party. The applicant has these properties under contract and has permission from the respective owner to submit for Planned District (PD) approval. This application seeks approval of the PD as a conditional use under the current zoning based on the current approved development guidelines under the Columbus County Zoning Ordinance.

The subject property is located on the southeastern side of Old Lake Road approximately two miles from the intersection of Andrew Jackson HWY E and Old Lake Road. The property is bordered on three sides by the Wannanish Game Land and mostly consists of timber stands with an undetermined amount of wetland areas. There are currently several dirt access roads throughout the property and potentially two blueline streams. Drainage from the site currently flows into the wetlands which eventually outfall to the surrounding Wannanish Game Land.

Phasing (Exhibit 5)

Following the approval of the requested zoning, 3584 Old Lake Road will prepare a Master Site Plan design for the proposed development in general accordance with the submitted Concept Plan regarding the locations of the residential and commercial areas and the roadway system. The location of these elements for each land-use as shown on the Concept Plan are conceptual in nature

and are subject to change at the discretion of the developer, provided however, that these minor changes to the PD will be submitted to the County Staff for review and, if necessary, approval, before implementation. Major changes to the plan in accordance with Columbus County PD Ordinance shall not be effective until such changes are approved by the appropriate parties and processes. The overall maximum dwelling unit count is proposed to be 4,531.

3584 Old Lake Road will be developed in multiple phases. The number of phases and phase boundaries are subject to change at the discretion of the developer. Development Uses will be limited to one (1) type within each phase. Adjacent dissimilar Development Use will be separated by a minimum 20' landscaped buffer. The remaining future phases will be constructed as lot inventory is required. The estimated time for the completion of this project is projected to be approximately ten to twelve years from the date of adoption of this PD.

Site Design and Development Standards

It is anticipated that all structures included in this development will be constructed on site with traditional construction methods (stick-built). Architectural guidelines shall be at the discretion of the developer and may vary throughout the project. The Developer retains the right to amend the Architectural guidelines at any time. The Developer shall record the community Covenants and Deed Restrictions prior to the sale of any property within the development.

Stormwater Management

Stormwater runoff from this property will be drained through stormwater detention ponds located on the property. The ponds will be sized and constructed to meet the requirements set forth in the NCDEQ "Stormwater Best Management Practices Manual". All ponds and associated private maintenance easements shall be owned and maintained, in perpetuity, by the HOA/POA. All drainage systems in the rights-of-way shall be maintained by the HOA/POA. All other drainage systems will be maintained, in perpetuity, by POA/HOA. All drainage easements and rights-of-way will be designated either "Public" or "Private" on the Final Subdivision Plat.

Utility Services

Water, sewer, and power shall be provided to serve the entire development and shall be designed and constructed in general accordance with all local, state, and other governing authority guidelines. The water system is proposed to be served by the Town of Lake Waccamaw Public Utilities, and the sewer system is proposed to be served by the City of Whiteville Public Utilities. The developer is responsible for these extensions in accordance with each supplier's

standard practices. Each extension shall be completed or bonded prior to the issuance of any structure building permits for the project.

Fire Coverage

During the engineering process for each of the proposed phases, a water model will be designed to evaluate the existing pressures and flow rates to ensure the proposed water supply system can provide fire flow for the development. Each water system construction permit shall be individually analyzed for delivery pressures in accordance with Columbus County Fire District requirements. Fire coverage and water delivery pressures may be supplemented or augmented by the placement of dry hydrants on each pond. Such instances shall be coordinated with and approved by Columbus County Fire Marshall.

Proposed Streets & Parking

Access to this project shall contain a minimum of three (3) access points along Olde Lake Road as shown on the Concept Plan. These access points are subject to move at the Developer's discretion and are subject to NCDOT's input and review. The private streets within the development shall be owned and maintained by the HOA/POA. Provisions and funding methods for which will be established in the HOA/PO governing documents. Streets shall be constructed to minimum NCDOT standards for subdivision roads and are subject to a 1-year warranty period by the developer/contractor after being dedicated to the HOA/POA.

The number of parking spaces required for each element within the 3584 Old Lake Road project shall be provided in accordance with the following schedule:

Single Family Residential:	2.0 Space per unit (not including garage spaces)
Sales Models/Amenity Center:	2.0 Spaces per 1,000 SF
Commercial:	Per current Columbus County Ordinance

3584 Old Lake Road HOA/POA reserves the right to maintain landscaping, irrigation and parking within private road rights-of-ways. 3584 Old Lake Road HOA/POA reserves the right to maintain landscaping and irrigation within public road rights-of-way. Any damage resulting from work done in the public rights-of-way shall be repaired and the right-of-way shall be returned to the minimum standards required by ordinance or the approved site plan.

Common Areas

The developer of 3584 Old Lake Road will file restrictive covenants on the property that will establish guidelines for Common Area ownership and maintenance. The Common Areas,

which include, but are not limited to, open fields, sidewalks, ponds, easements, open space, amenities, etc., will be owned by the HOA/POA as established in the Covenants and Restrictions. This ownership will include the maintenance of facilities, landscaping within road rights-of-way and private drainage easements on the property. Fees will be assessed from all property owners to provide funding for the operation and maintenance of these areas.

Utilities

The Town of Lake Waccamaw Public Utilities will own and operate the water facilities necessary for this project. The City of Whiteville Public Utilities will own and operate the sewer facilities necessary for this project. Focus Broadband will serve the telephone, internet and cable service. Electrical power facilities will be owned and operated by Duke Energy. Utility Easements will be shown on the Final Subdivision Plat in accordance with the Subdivision Ordinance for Columbus County.

Lot Criteria Development Summary

Phase 1A: 33.25 AC

Uses: Commercial

Minimum Lot Size: 21,800 SF

Front Setback: 20'

Side Setback: 10'

Rear Setback: 15'

Phase 1B: 26.43 AC

Uses: Commercial

Minimum Lot Size: 21,800 SF

Front Setback: 20'

Side Setback: 10'

Rear Setback: 15'

Phase 2A: 99.59 AC

Uses: Single Family

Maximum Density: 5 Dwelling Units/ Acre

497 Single Family Units

Minimum Lot Size: 5000 SF

Front Setback: 20'

Side Setback: 5'

Rear Setback: 10'

Phase 2B: 84.19 AC

Uses: Single Family

Maximum Density: 5 Dwelling Units/ Acre

420 Single Family Units

Minimum Lot Size: 5000 SF

Front Setback: 20'

Side Setback: 5'

Rear Setback: 10'

Phase 3A: 96.58 AC

Uses: Single Family

Maximum Density: 4.6 Dwelling Units/ Acre

444 Single Family Units

Minimum Lot Size: 6000 SF

Front Setback: 20'

Side Setback: 5'

Rear Setback: 10'

Phase 3B: 87.34 AC

Uses: Single Family

Maximum Density: 4.6 Dwelling Units/ Acre

401 Single Family Units

Minimum Lot Size: 6000 SF

Front Setback: 20'

Side Setback: 5'

Rear Setback: 10'

Phase 3C: 90.41 AC

Uses: Single Family

Maximum Density: 4.6 Dwelling Units/ Acre

415 Single Family Units

Minimum Lot Size: 6000 SF

Front Setback: 20'

Side Setback: 5'

Rear Setback: 10'

Phase 3D: 91.58 AC

Uses: Single Family

Maximum Density: 4.6 Dwelling Units/ Acre

421 Single Family Units

Minimum Lot Size: 6000 SF

Front Setback: 20'

Side Setback: 5'

Rear Setback: 10'

Phase 4: 429.76 AC

Uses: Single Family

Maximum Density: 4.5 Dwelling Units/ Acre

1,933 Single Family Units

Minimum Lot Size: 7000 SF

Front Setback: 20'

Side Setback: 5'

Rear Setback: 10'

Density Analysis

The property under this PRD consists of 1,049.86 +/- total acres which includes both commercial and residential development. The Development Plan calls for a maximum of 4,531 total dwelling units within the 3584 Old Lake Road Residential development. This calculation is subject to change and is dependent on the final Development Plan. In any case, not more than 85% of the established net buildable area may be made impervious. Density analysis only applies to residential portion of 3584 Old Lake Road.

Open Space Analysis

Columbus County PD Ordinance dictates that the development must provide for Permanent Common Open Space in accordance with Section 3.e.

Total Open Space Required = 165.96 Acres

Permanent Common Open Space may be comprised of open space easements, stormwater

ponds, buffers, wetlands, recreational areas. 3584 Old Lake Road will designate permanent common open space in its Development Plan sufficient to exceed the minimum required. Open space will be maintained by the HOA/POA and will be accessible to all HOA/POA owners as passive open space. Open Space requirement and calculation is only applicable to residential portions of 3584 Old Lake Road.

Buffers & Tree Preservation

An average 25' wide vegetated buffer shall be provided between Old Lake Road and the proposed residential development. An average 20' wide vegetated buffer shall be provided along the perimeter of the project. This buffer may be naturally vegetated or augmented with supplemental plantings where deemed necessary. Where wetlands abut the property line, no augmentation is anticipated. These buffers are intended to provide for a reduction of noise and to provide a visual buffer. At the discretion of the developer, these buffers may be improved with supplemental plantings.

Amenity Center, Sales Models & Construction Trailer

Amenity Center(s) at 3584 Old Lake will be at the discretion of the developer of each phase. Amenity Center(s) site(s) may consist of a building with auxiliary structures, pool, parking, sports courts, mail kiosks, etc. The developer will turn over the Amenity Center site to the HOA/POA for residents of the respective phase of 3584 Old Lake. The HOA/POA will have the right to modify and/or enhance the building, parking, and other elements. At this time a community wide amenity is planned to be located centrally to the development. The developer of each phase may elect to construct additional amenities as they see fit in their respected neighborhoods.

Sales Models will be prominently located near the primary entrances of the development and/or each phase. From the start of each phase, Sales Models along with parking will be developed on site to provide offices for sales agents and show rooms for selection of interior coverings and fixtures. Sales models may be constructed as groups of 2 – 5 homes serviced by one parking lot. The parking lot may extend across two lots.

Construction Trailer(s) and parking may be installed at a location determined by the developer and permitted by the County for use by the contractors during project/phase construction until the project/phase is complete. The construction trailer may be temporarily tied into public water and sewer systems.

Commercial Parcels

Per the development plan (Exhibit 5) portions of 3584 Old Lake are intended to be commercial areas. These commercial areas shall be subject to the current Columbus County Development ordinance at the time of development. The 3584 Old Lake PD shall establish a 15' vegetated buffer along the non-road frontage perimeter of these parcels, road frontage buffers shall not be required.

Development Performance Security

In order to facilitate the recording of final plats and obtaining building permits, the developer of the project/phase may offer one of the following as guarantee that required improvements will be completed in the project/phase: Surety bond, with a corporation licensed to do business in the state.

The amount of the guarantee instrument shall be equal to the estimated cost of improvements plus 20 percent of that amount. Only the above is acceptable as guarantee of improvements and no others.

With the bonded and recorded final plat, the Developer may apply and attain individual building permits to begin construction of homes or amenities within the subject project/phase, subject to provisions of the applicable building codes. The required improvements will be completed prior to application for final certificate of occupancy and conveying of the property to individual owners.

Signage & Monumentation

3584 Old Lake will be allowed two (2) entrance signs per entrance if signs are placed on the face of an entrance wall to said development. Such signs shall not exceed seventy five (75) square feet per sign face and an aggregate area of one hundred (100) square feet per entrance, nor shall they exceed a height of ten (10) feet. If a double-faced sign is used without the entrance walls, only one (1) such sign is allowed per entrance. If a boulevard entrance is chosen, a sign may be placed within a landscaped median only if such sign is protected by a six (6) inch raised curb. Each amenity site within the subdivision shall be permitted one monument sign no greater than eight (8) feet in height and no greater than fifty (50) square feet in area.

Temporary signage within the tract limits will be as follows:

"AGENT ON DUTY" sign: sign surface not to exceed two (2) feet in width by three (3) feet in height in size. The sign must be a "sandwich board" type sign which can easily be removed when the sales office or model home is not open for business.

Identification signs: not to exceed forty-two (42) inches × twenty (20) inches - One (1) for each model - may reference model home type, "specialized" parking, etc.

Temporary advertising sign per each community entrance: sign surface not to exceed forty (40) square feet in size and ten (10) feet in height. Sign must be removed prior to closing of final single-family residence. Advertising flags, banners & fluttering ribbons permitted throughout the property. These advertisements may be located along any and all entrances to the community and may also be used internal to the community for the approach to the amenity or sales model.

Individual Lot "For Sale" signs smaller than 48"x48" shall be allowed outside of the right of way while a property is actively being advertised as for sale. Individual Lot "Sold" signs smaller than 48"x48" shall be allowed outside of the right of way for no more than 14 calendar days after a completed property transaction. Temporary signs shall not be erected in such a manner as to create a vision clearance issue for any adjacent property and/or for motorists on adjacent roadways. Signs on individual lots identifying lot numbers shall be considered ancillary and permissible.

Property Information

092640
1049.13 AC

Zoom in 1 steps to view this layer

9



500 m
2000 ft

Columbus County, North Carolina - ©2014-2017

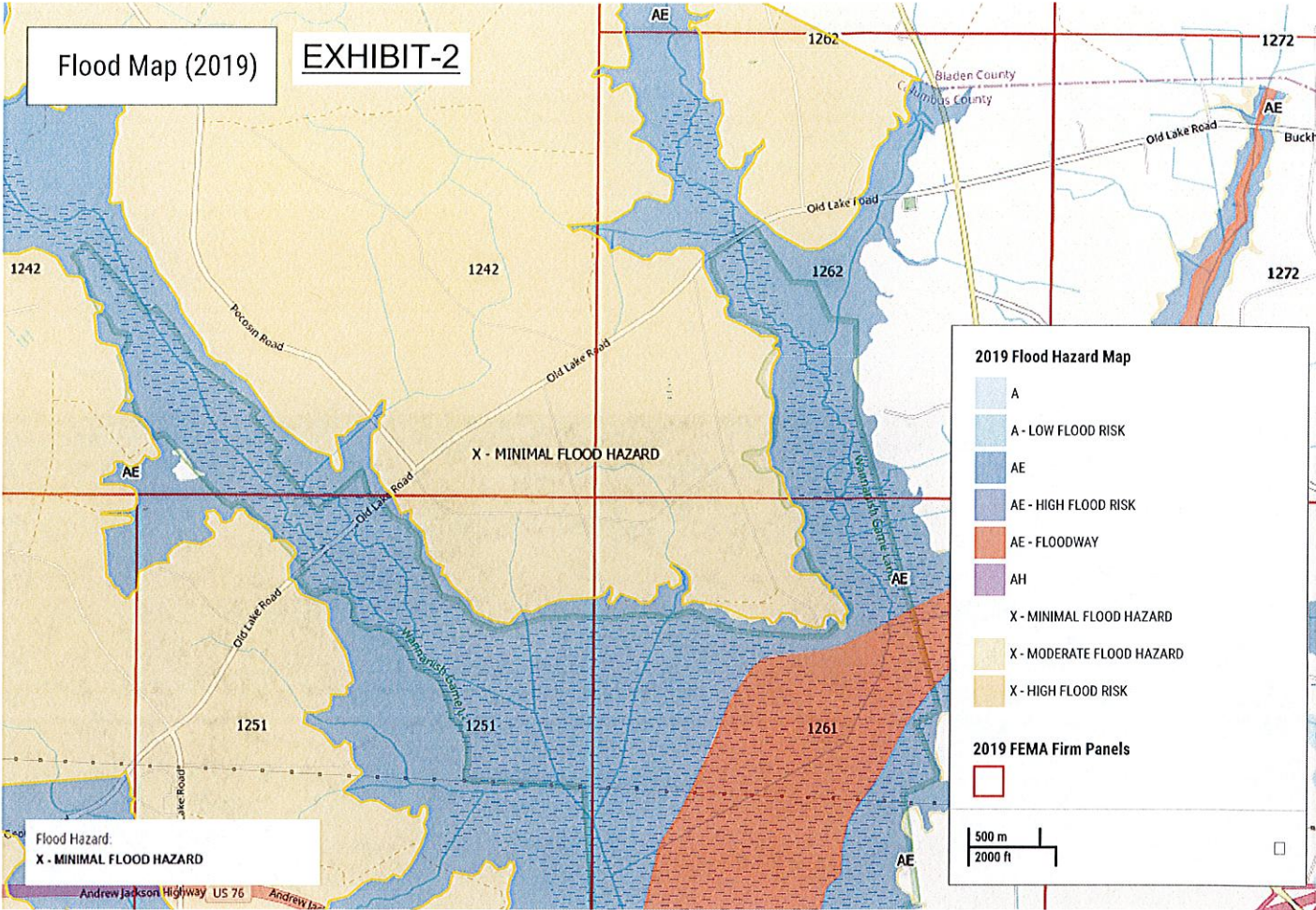
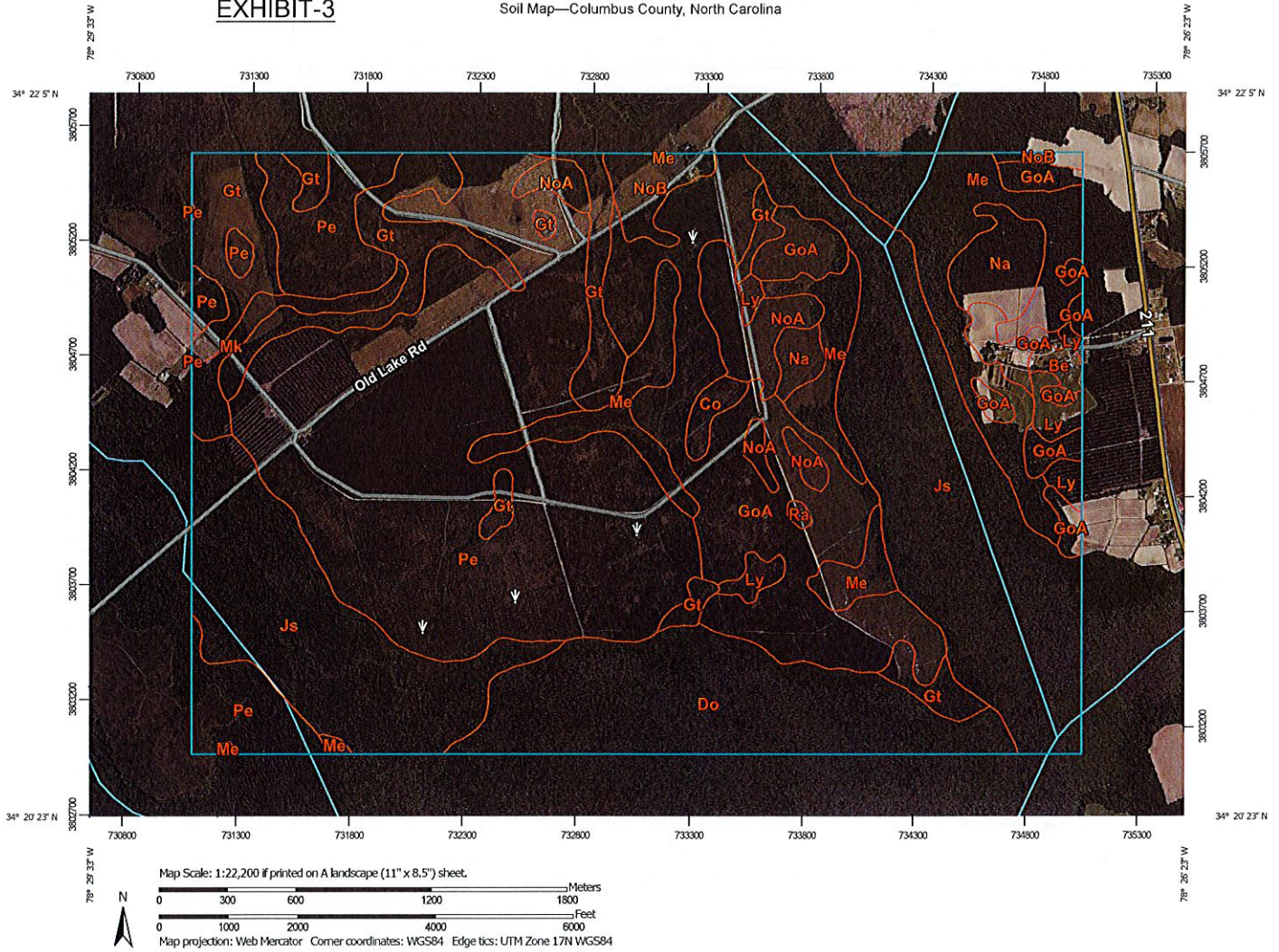


EXHIBIT-3

Soil Map—Columbus County, North Carolina



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

2/14/2025
Page 1 of 3

Soil Map—Columbus County, North Carolina

MAP LEGEND

Area of Interest (AOI)		Spoil Area
Area of Interest (AOI)		Stony Spot
Soils		Very Stony Spot
Soil Map Unit Polygons		Wet Spot
Soil Map Unit Lines		Other
Soil Map Unit Points		Special Line Features
Special Point Features		Water Features
Blowout		Streams and Canals
Borrow Pit		Transportation
Clay Spot		Rails
Closed Depression		Interstate Highways
Gravel Pit		US Routes
Gravelly Spot		Major Roads
Landfill		Local Roads
Lava Flow		Background
Marsh or swamp		Aerial Photography
Mine or Quarry		
Miscellaneous Water		
Perennial Water		
Rock Outcrop		
Saline Spot		
Sandy Spot		
Severely Eroded Spot		
Sinkhole		
Slide or Slip		
Sodic Spot		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Columbus County, North Carolina
Survey Area Data: Version 27, Sep 9, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 11, 2022—May 15, 2022

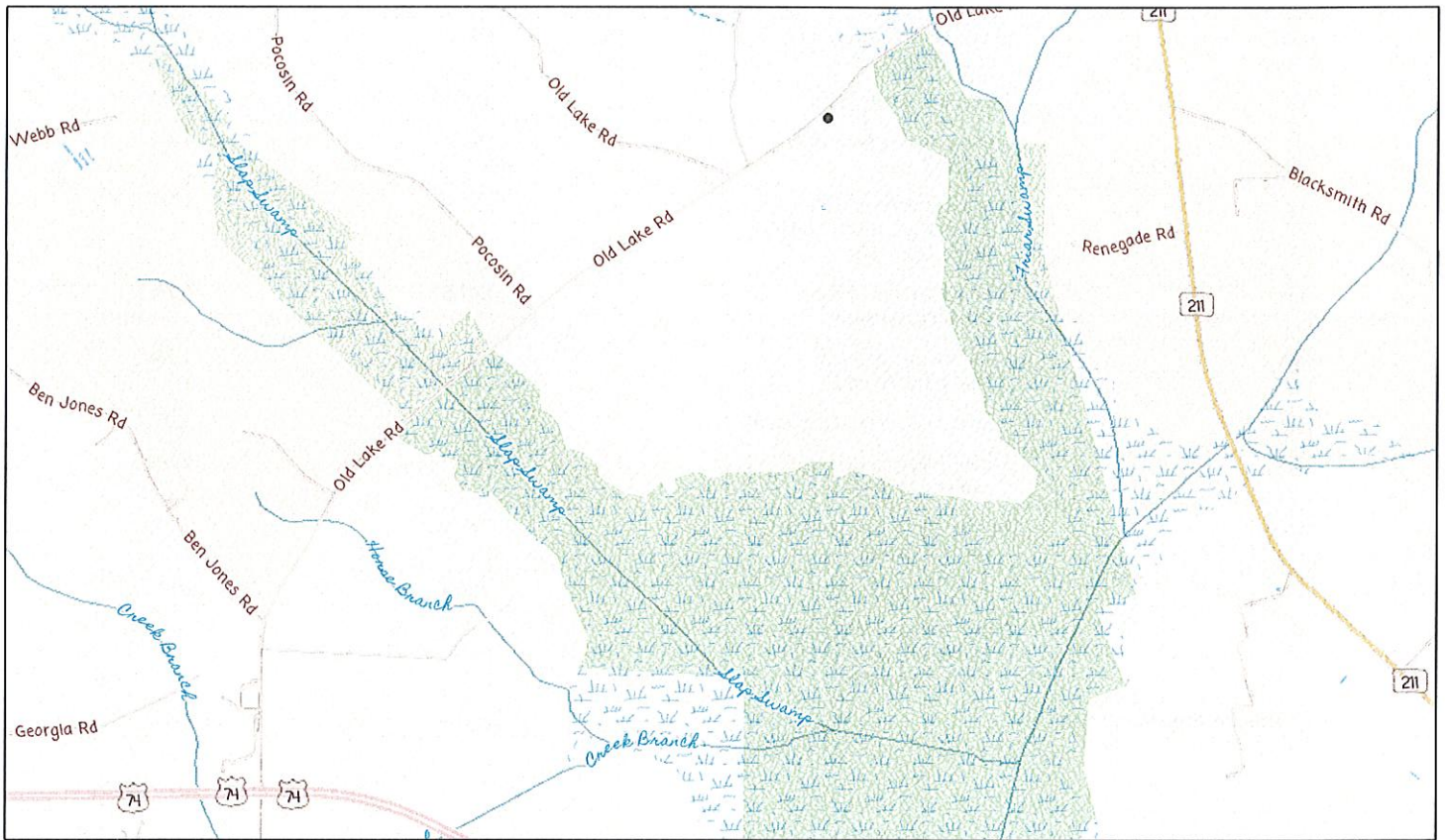
The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Be	Bethera loam	8.1	0.3%
Co	Coxville loam	11.6	0.5%
Do	Dorovan muck, frequently flooded	229.0	8.9%
GoA	Goldsboro fine sandy loam, 0 to 2 percent slopes	356.3	13.9%
Gt	Grifton fine sandy loam	199.1	7.8%
Js	Johnston loam, frequently flooded	548.2	21.4%
Ly	Lynchburg fine sandy loam, 0 to 2 percent slopes, Atlantic Coast Flatwoods	30.8	1.2%
Me	Meggett fine sandy loam, frequently flooded	247.8	9.7%
Mk	Muckalee sandy loam, frequently flooded	30.2	1.2%
Na	Nahunta very fine sandy loam	49.1	1.9%
NoA	Norfolk loamy fine sand, 0 to 2 percent slopes	64.1	2.5%
NoB	Norfolk loamy fine sand, 2 to 6 percent slopes	32.2	1.3%
Pe	Pender fine sandy loam	750.4	29.3%
Ra	Rains fine sandy loam, 0 to 2 percent slopes, Atlantic Coast Flatwoods	2.3	0.1%
Totals for Area of Interest		2,559.4	100.0%

EXHIBIT-4

Wetlands Map



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- 8 Digit HUC Subbasins and 10 Digit HUC Watersheds - HUC 8 Subbasins
- NC Counties

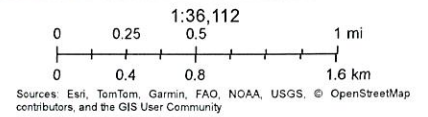


EXHIBIT-5



211.00

TOTAL PROPERTY AREA:
TOTAL COMMERCIAL AREA:
TOTAL RESIDENTIAL AREA:

TOTAL NUMBER OF SINGLE-FAMILY UNITS:
RESIDENTIAL DENSITY (DUA/A)
PHASE 2:
PHASE 3:
PHASE 4:
WETLAND ACREAGE:
FLOODWAY ACREAGE:
TOTAL MINIMUM OPEN SPACE REQUIRED:
MINIMUM RECREATIONAL OPEN SPACE REQUIRED:
MINIMUM COMMON OPEN SPACE REQUIRED:

GENERAL

[illegible]

LEGEND

-  COMMERCIAL PHASE - 1A, 1B
 SINGLE FAMILY PHASE - 2A, 2B
 SINGLE FAMILY PHASE - 3A, 3B, 3C, 3D
 SINGLE FAMILY PHASE - 4
 FLOOD ZONE (AE)

NOTE:
PHASES AND DENSITIES SHOWN ARE CONCEPTUAL IN NATURE. PHASE UNITS MAY VARY IN FINAL CONSTRUCTION DRAWINGS. THIS D.A.'S REPRESENTS THE MAXIMUM NUMBER OF UNITS, MAXIMUM DENSITY, AND MINIMUM AMOUNT OF OPEN SPACE OVERALL FOR THIS PROJECT. ANY REVISIONS TO THE PHASING AS SHOWN ON THIS PLAN ONCE APPROVED, WILL NOT INCREASE THE DENSITY OR ADVERSELY AFFECT THE LOCATION OF USES AS SHOWN FOR THIS CONDITIONAL USE ZONING DISTRICT.

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[illegible]

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CONCEPT PLAN
FOR
ADVANCE LAND AND
TIMBER
3584 OLD LAKE ROAD
COLUMBUS COUNTY
NC

Collins  Engineering & Design <small>INTERNATIONAL CONSULTING</small> <small>International Building Etc.</small>		RALEIGH 2000 Eglarway Parkway, Suite 100 Cary, NC 27513 Phone: 919.433.8882 Fax: 919.433.8883 Telex: 919 433 8883 CABLE: 919 433 8883 CABLE: 919 433 8883	
DATE	AS SHEETS	DATE	BY
PROJECT NO.	PROJECT NAME	PROJECT NO.	PROJECT NAME
SHEET NO. <div style="border: 1px solid black; padding: 10px; text-align: center;"> <h2>SKETCH OF PROPOSAL</h2> </div> SHEET NUMBER <div style="border: 1px solid black; padding: 10px; text-align: center;"> <h1>C.0.01</h1> </div>			

