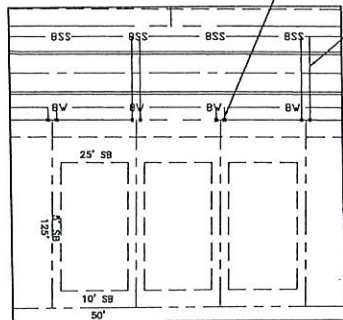


VICINITY MAP  
N.T.S.



TYPICAL LOT / SERVICE LAYOUT

- NOTES:
1. NO NATURAL DRAINAGE AREAS WILL BE CUT OFF OR DISTURBED.
  2. ALL ROADS WILL BE PAVED TO NCDOT MINIMUM STANDARDS FOR SUBDIVISION ROADS.
  3. A HOME OWNERS ASSOCIATION WILL BE FORMED PRIOR TO THE SALE OF LOTS AND MEMBERSHIP WILL BE AUTOMATIC UPON PURCHASE WITHIN THE DEVELOPMENT.
  4. ALL STREET LIGHTING WILL BE INSTALLED AT THE DISCRETION OF THE DEVELOPER.
  5. EACH ROAD IS REQUIRED TO BE CAPABLE OF SUPPORTING 75,000 OF IMPOSED LOADS PER [F]503.2.4 OF THE 2012 NC FIRE PREVENTION CODE.
  6. SINGLE FAMILY LOTS ARE IDENTIFIED THIS PLANS SHOWS 104 LOTS WITH A MINIMUM LOT SIZE OF 6,000 SF. LOT SIZES ARE 50 FT X 104 FT AND 51 FT X 120 FT.
  7. PLAN SHOWS A 30 FOOT UNDISTURBED PERIMETER BUFFER.
  8. PARCEL LINES AND CONTOURS OBTAINED FROM COLUMBUS COUNTY GIS.
  9. WETLAND LINES OBTAINED FROM PRELIMINARY ASSESSMENT BY THE SOUTHERN ENVIRONMENTAL COMPANY, COMPLETED 07/09/2020.
  10. CONCEPTUAL PLAN DESIGN ASSUMES PLANNED DEVELOPMENT DESIGNATION.
  11. CONCEPTUAL PLAN ASSUMES CROSSING OF STREAMS TO ISOLATED UPLAND AREA.
  12. PROJECT TO BE BUILT TO COLUMBUS COUNTY SPECIFICATIONS FOR WATER. A UTILITY PLAN MUST BE SUBMITTED AND APPROVED BY ENGINEERING AND EMERGENCY MANAGEMENT.
  13. PROJECT TO BE BUILT TO GRAND STRAND WATER & SEWER SPECIFICATIONS FOR SEWER. CONNECTION TO EXISTING 6" SSFM @ NC/SC LINE REQUIRED FOR SEWER EXTENSION.
  14. THERE SHALL BE A NOTE ON THE FINAL PLATS, MASTER COVENANTS, AND DEEDS SHOWING THE LOCATION OF WETLANDS AND NOTING THAT THOSE AREAS MAY NOT BE FILLED, DISTURBED, OR ALTERED IN ANY WAY UNLESS PROPERLY PERMITTED BY THE NC DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES AND/OR THE U.S. ARMY CORP OF ENGINEERS.
  15. EXISTING VEGETATION WILL BE USED FOR THE BUFFER BUT SUPPLEMENTAL LANDSCAPING SHALL BE INSTALLED WHERE NECESSARY.
  16. ALL HOMES WILL HAVE A MINIMUM OF TWO DRIVEWAY PARKING SPACES.
  17. THE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STREETS, STORMWATER SYSTEM AND ALL OPEN SPACE AREAS.
  18. A MINIMUM 10' MAINTENANCE EASEMENT SHALL BE PROVIDED AROUND THE STORMWATER PONDS. STORMWATER DRAINAGE EASEMENTS SHALL BE PROVIDED WHEREVER THERE IS STORMWATER INFRASTRUCTURE THROUGH PRIVATE PROPERTY.

SITE DATA	
PARCEL NUMBER:	013243, 013750
ZONING:	01 - GENERAL USE
TOTAL SITE AREA:	7,199,824.85 SF / 165.29 AC
DISTURBED AREA:	TBD
BUILDING HEIGHT:	LESS THAN 30'
STANDARD LOT SIZE: (50x125)	6,250 SF
MAXIMUM LOT SIZE:	15,043 SF
BUILDING SETBACKS:	
FRONT:	25'
REAR:	10'
SIDE:	5'
SINGLE FAMILY UNITS:	354
DUPLEX UNITS:	128
TOWNHOUSE UNITS:	223
TOTAL UNITS:	713
IMPERVIOUS AREAS:	
LOTS: 384 (4,000 PER)	1,458,000 SF
TOWNHOUSE:	248,900 SF
DUPLEX:	817,400 SF
ROADS / AVENUE PARKING:	646,376 SF
WALKS / CONCRETE:	271,400 SF
CLUB HOUSE:	4,000 SF
POOL DECK:	5,300 SF
KIOSK:	1,000 SF
TOTAL IMPERVIOUS AREA:	3,250,276 SF / 74.82 AC
% IMPERVIOUS:	45.14%
OPEN SPACE REQUIRED:	
TOTAL UNITS:	713
RECREATIONAL, OPEN SPACE:	713(2.45)(0.01)=17.47 AC
COMMON OPEN SPACE:	(113(2.45)(0.01))/2=2.74 AC
TOTAL REQUIRED:	20.21 AC
OPEN SPACE PROVIDED:	
RECREATIONAL, OPEN SPACE:	890,215 SF / 20.44 AC
COMMON OPEN SPACE:	1,090,760 SF / 25.04 AC
TOTAL PROVIDED:	1,980,975 SF / 45.48 AC



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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OVERALL SITE PLAN

OWNER:

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS P.C.

2602 IRON GATE DR., SUITE 102 1409 ASH-LITTLE RIVER RD. NW  
WILMINGTON, NC 28412  
PHONE (910) 342-9653

License #C-3641  
**22043**

DES. JPN  
ORD. JPN  
DRWL. EDB

DATE 02/09/23



SCALE: 1" = 200'

**C1**

MATCHLINE SEE SHEET C2.1

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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GRADING PLAN

COLUMBUS COUNTY, NORTH CAROLINA

OWNER:

**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
 2409 BRAN CAFFERY DR. SUITE 102  
 WILMINGTON, NC 28412  
 PHONE (910) 943-9663

License #C-3641

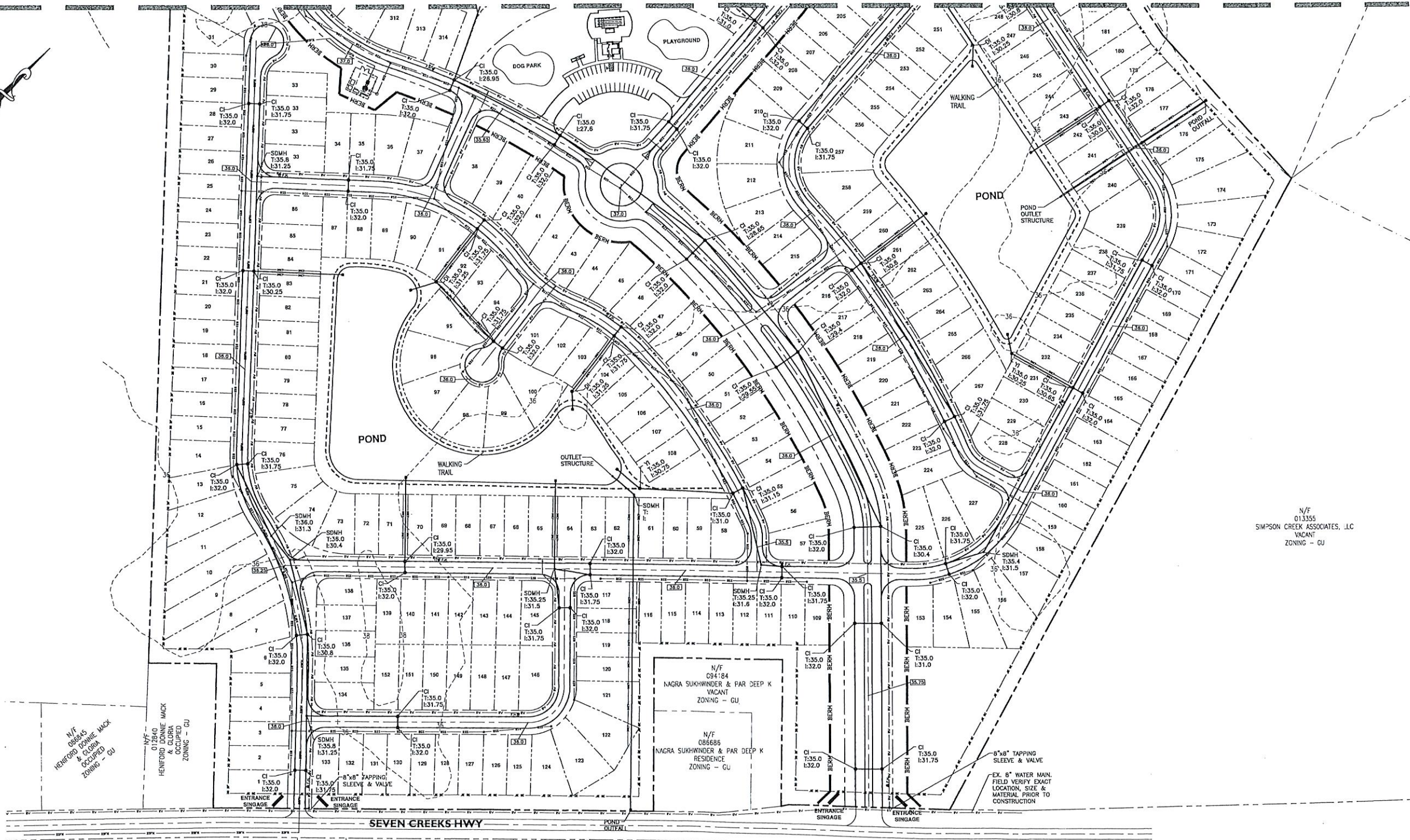
22043

DES. JPN  
 C.D. JPN  
 DRWL. EDB

DATE 03/09/23



**C2**



N/F  
 013355  
 SIMPSON CREEK ASSOCIATES, LLC  
 VACANT  
 ZONING - GU

N/F  
 08885  
 HENFORD DONNE MACK  
 & CLORA  
 OCCUPIED  
 ZONING - GU

N/F  
 012840  
 HENFORD DONNE MACK  
 & CLORA  
 OCCUPIED  
 ZONING - GU

N/F  
 094784  
 NAGRA SUKHWINDER & PAR DEEP K  
 VACANT  
 ZONING - GU

N/F  
 086686  
 NAGRA SUKHWINDER & PAR DEEP K  
 RESIDENCE  
 ZONING - GU

8"Ø TAPPING  
 SLEEVE & VALVE

EX. 8" WATER MAIN.  
 FIELD VERIFY EXACT  
 LOCATION, SIZE &  
 MATERIAL PRIOR TO  
 CONSTRUCTION

**LEGEND**

- PROPERTY LINE
- RIGHT OF WAY
- PROPOSED LOT
- WETLANDS
- PROPOSED ELEVATION
- STORM DRAIN
- INLET w/ INLET PROTECTION

SCALE: 1" = 100'

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
		© 2022 NORRIS & TUNSTALL	

GRADING PLAN

COLUMBUS COUNTY, NORTH CAROLINA

OWNER:

**NORRIS & TUNSTALL**  
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 1429 ASH+LITTLE RIVER RD, NW ASH, NC 28420  
 PHONE (910) 287-5900

Licence #C-3641

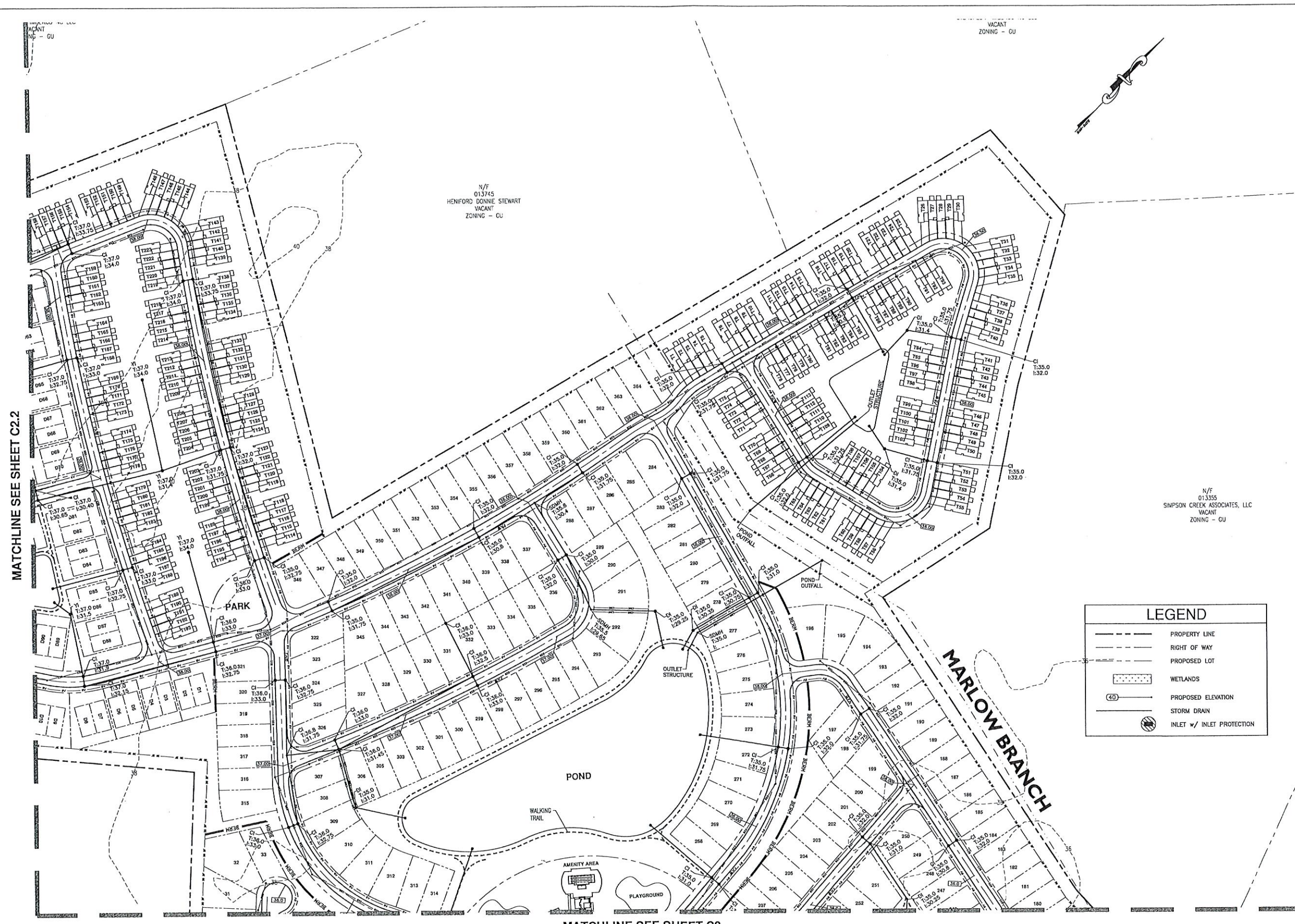
22043

DES. JPN  
 CKD. JPN  
 DRWN. EDB

DATE 02/09/23



**C2.1**



LEGEND	
	PROPERTY LINE
	RIGHT OF WAY
	PROPOSED LOT
	WETLANDS
	PROPOSED ELEVATION
	STORM DRAIN
	INLET w/ INLET PROTECTION

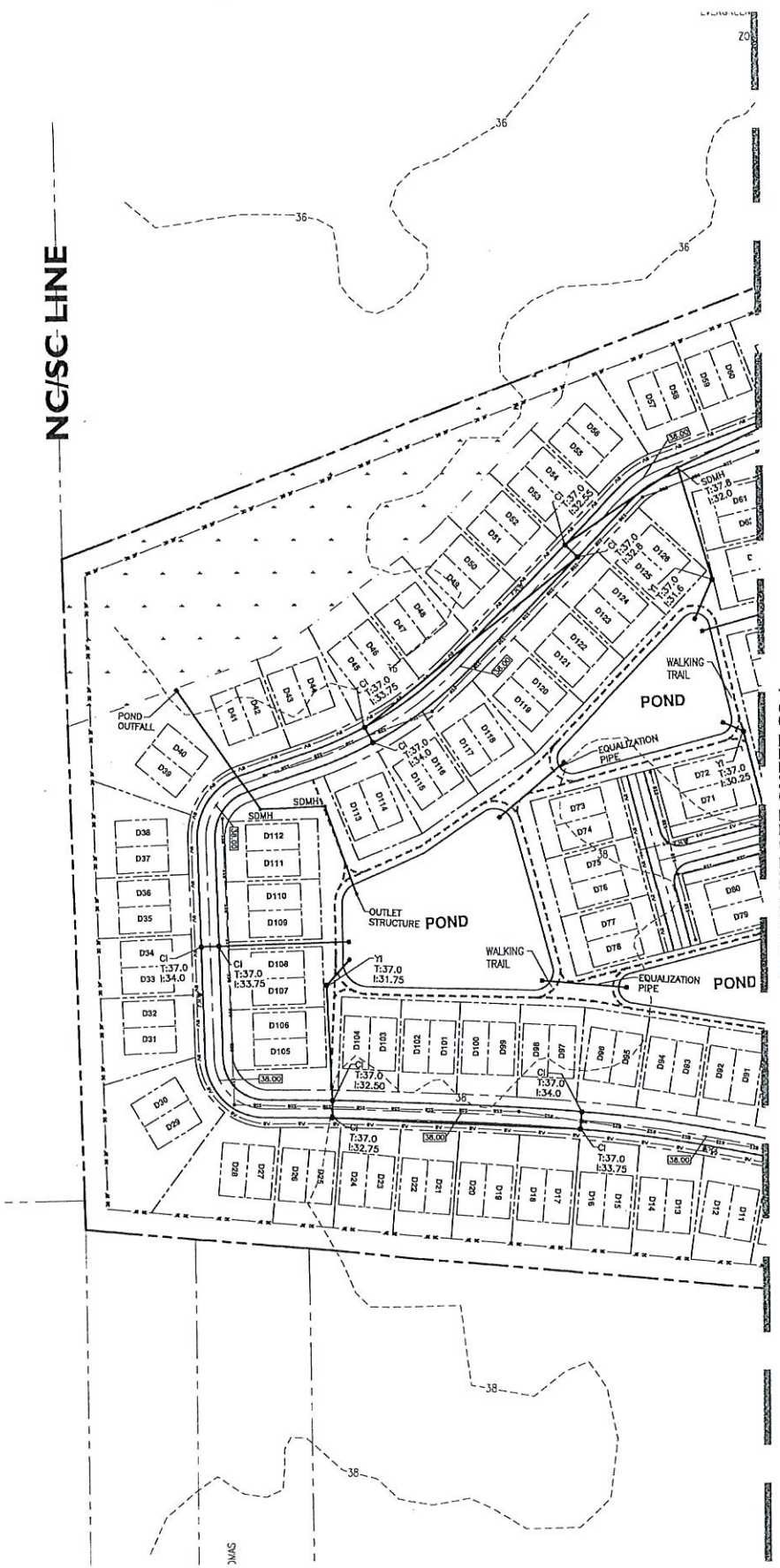
SCALE: 1" = 100'  
 0 100 200 300

MATCHLINE SEE SHEET C2.2

MATCHLINE SEE SHEET C2

N/F  
 013745  
 HENIFORD DONNIE STEWART  
 VACANT  
 ZONING - GU

N/F  
 013355  
 SIMPSON CREEK ASSOCIATES, LLC  
 VACANT  
 ZONING - GU



**LEGEND**

	PROPERTY LINE
	RIGHT OF WAY
	PROPOSED LOT
	WETLANDS
	PROPOSED ELEVATION
	STORM DRAIN
	INLET w/ INLET PROTECTION

SCALE: 1" = 100'

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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CONSULTING ENGINEERS P.C.

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WILMINGTON, NC 28412 WILMINGTON, NC 28412  
PHONE (910) 343-9653 PHONE (910) 287-5990

OWNER: \_\_\_\_\_

GRADING PLAN

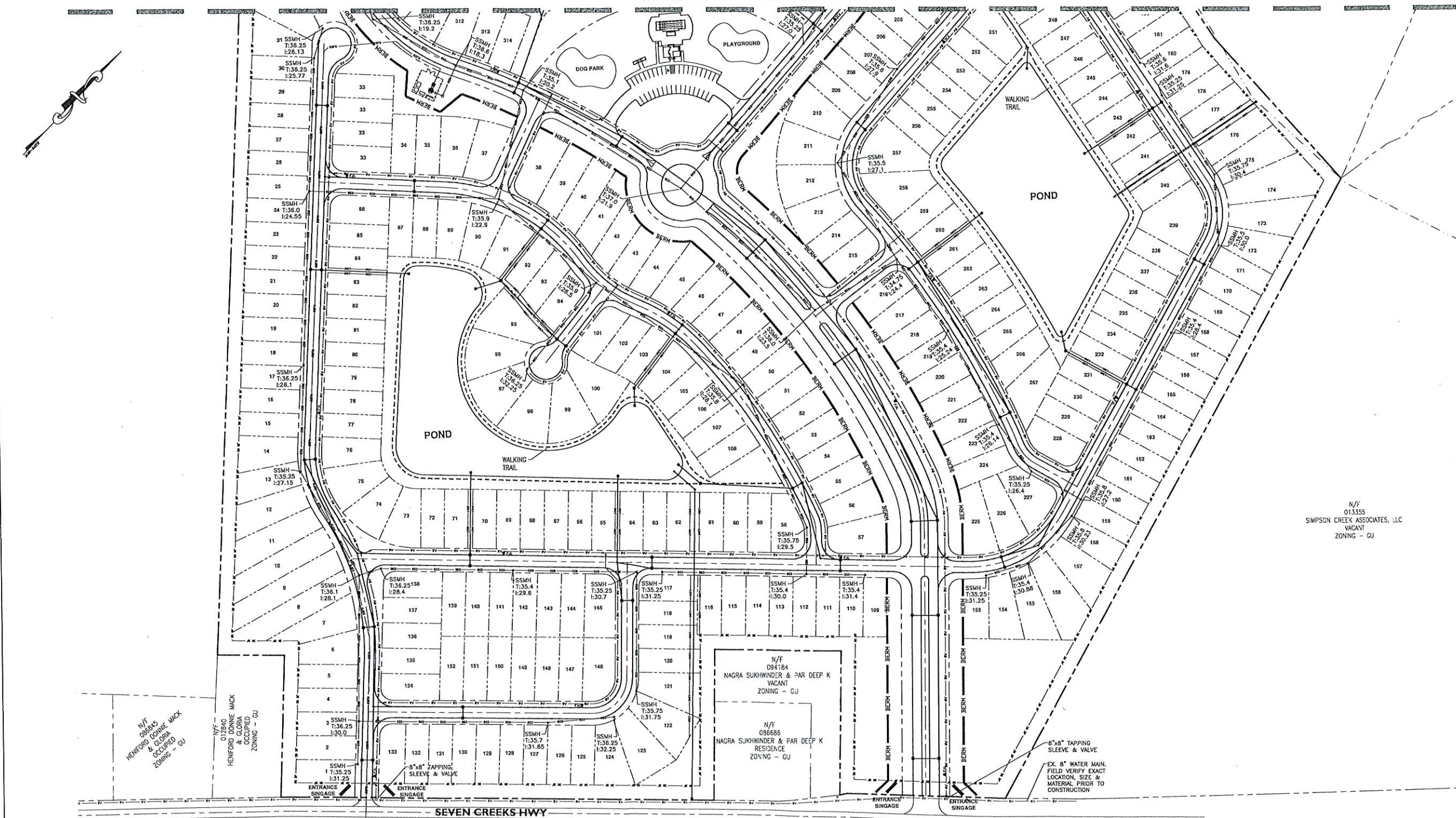
Licence #C-3641  
**22043**

DES. JPN  
ORD. JPN  
DRAW. EDB

DATE 02/09/23

**C2.2**

MATCHLINE SEE SHEET C3.1



6" SSFM TO EXTEND TO NC/SC BORDER FOR CONNECTION TO EXISTING 6" SSFM

LEGEND

	PROPERTY LINE
	RIGHT OF WAY
	PROPOSED LOT
	WETLANDS
	EXISTING CONTOUR
	8" WATER LINE
	2" WATER LINE
	GRAVITY SEWER
	4" SSFM
	STORMDRAIN

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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UTILITY PLAN

OWNER:

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS P.C.

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PHONE (910) 340-9685

COLUMBUS COUNTY, NORTH CAROLINA

N/F 013355  
SIMPSON CREEK ASSOCIATES, LLC  
VACANT  
ZONING - GU

N/F 094184  
NAGRA SUKHWINDER & PAR DEEP K  
VACANT  
ZONING - GU

N/F 086886  
NAGRA SUKHWINDER & PAR DEEP K  
RESIDENCE  
ZONING - GU

8" x 8" TAPPING SLEEVE & VALVE

EX. 8" WATER MAIN. FIELD VERIFY EXACT LOCATION, SIZE & MATERIAL PRIOR TO CONSTRUCTION

Licence #C-3641

22043

DES.	JPN
CHK.	JPN
DRWL.	EDB
DATE	02/09/23



SCALE: 1" = 100'

C3

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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UTILITY PLAN

COLUMBUS COUNTY, NORTH CAROLINA

OWNER:

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS P.C.

2602 IRON GATE DR., SUITE 102  
WILMINGTON, NC 28412  
PHONE (910) 345-9653

Licence #C-3641

22043

DES. JPN  
CHK. JPN  
DRWN. EDB

DATE 02/09/23



**C3.1**

LEGEND	
	PROPERTY LINE
	RIGHT OF WAY
	PROPOSED LOT
	WETLANDS
	EXISTING CONTOUR
	8" WATER LINE
	2" WATER LINE
	GRAVITY SEWER
	4" SSFM
	4" SSFK
	STORMDRAIN

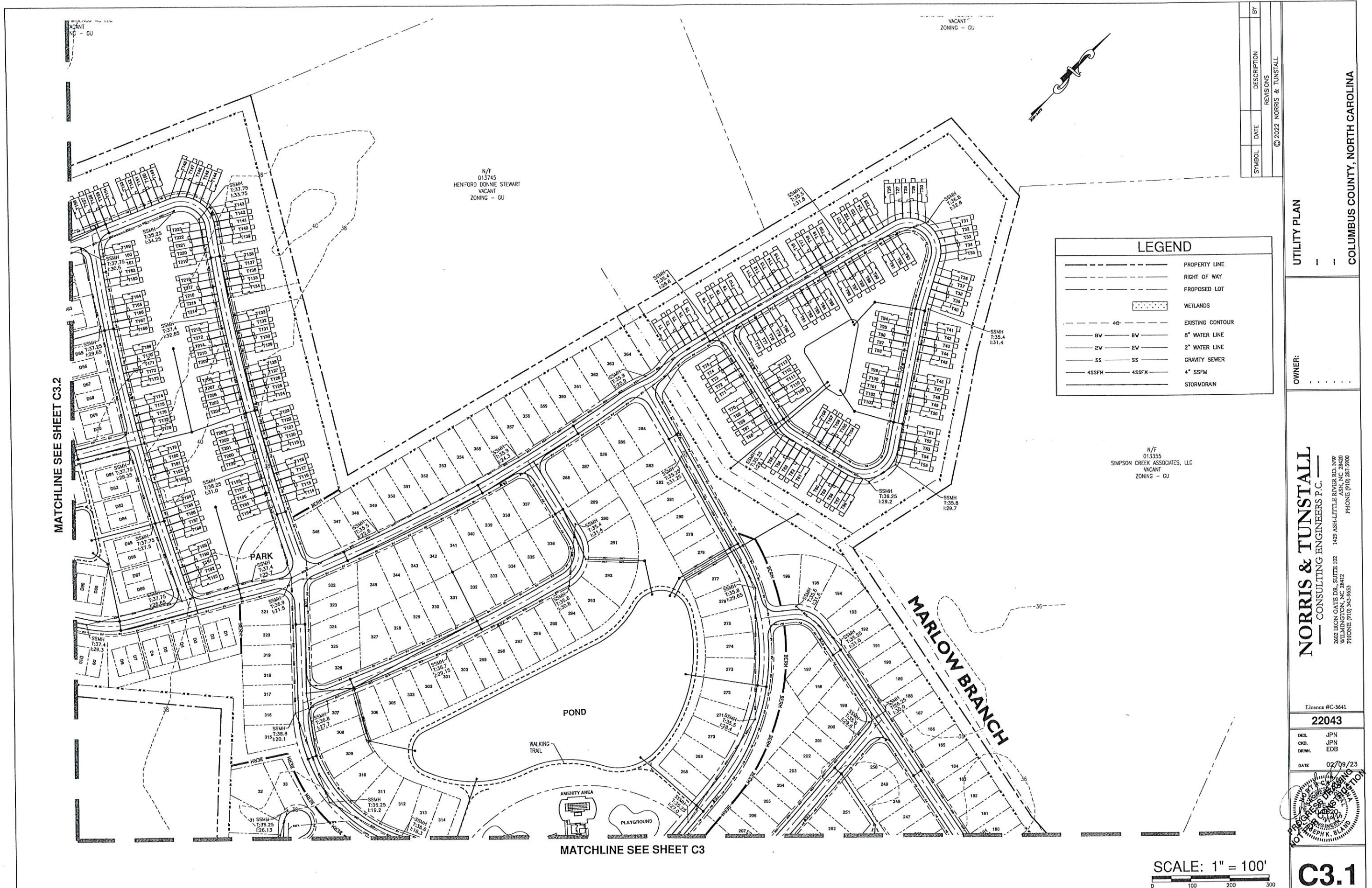
N/F  
013355  
SIMPSON CREEK ASSOCIATES, LLC  
VACANT  
ZONING - GU

N/F  
013745  
HENFORD DONNIE STEWART  
VACANT  
ZONING - GU

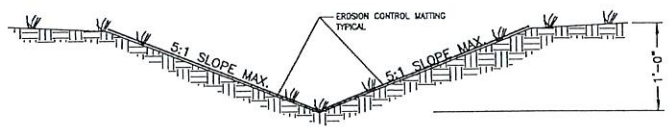
MATCHLINE SEE SHEET C3.2

MATCHLINE SEE SHEET C3

SCALE: 1" = 100'



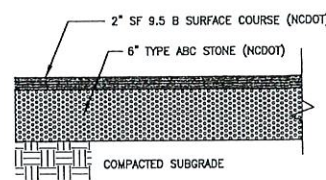




**GRASS SWALE:**  
**CONSTRUCTION SPECIFICATIONS:**  
 1. REMOVE ALL TREES, BRUSH, STUMPS AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA AND DISPOSE OF PROPERLY.  
 2. EXCAVATE THE CHANNEL, AND SHAPE IT TO NEAT LINES AND DIMENSIONS SHOWN ON THE PLANS PLUS A 0.2-FOOT OVERCUT AROUND THE CHANNEL PERIMETER TO ALLOW FOR BULKING DURING SEEDBED PREPARATIONS AND SOO BUILDUP.  
 3. REMOVE AND PROPERLY DISPOSE OF ALL EXCESS SOIL SO THAT SURFACE WATER MAY ENTER THE CHANNEL FREELY.  
 4. THE PROCEDURE USED TO ESTABLISH GRASS IN THE CHANNEL WILL DEPEND UPON THE SEVERITY OF THE CONDITIONS AND SELECTION OF SPECIES. PROTECT THE CHANNEL WITH MULCH OR A TEMPORARY LINER SUFFICIENT TO WITHSTAND ANTICIPATED VELOCITIES DURING THE ESTABLISHED PERIOD.

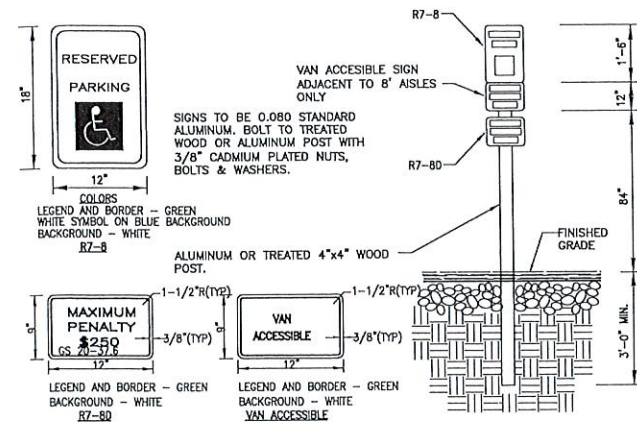
**MAINTENANCE:**  
 DURING THE ESTABLISHMENT PERIOD, CHECK GRASS-LINED CHANNELS AFTER EVERY RAINFALL. AFTER GRASS IS ESTABLISHED, PERIODICALLY CHECK THE CHANNEL; CHECK IT AFTER EVERY HEAVY RAINFALL EVENT. IMMEDIATELY MAKE REPAIRS. IT IS PARTICULARLY IMPORTANT TO CHECK THE CHANNEL OUTLET AND ALL ROAD CROSSING FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. KEEP THE GRASS IN A HEALTHY, VIGOROUS CONDITION AT ALL TIMES, SINCE IT IS PRIMARY EROSION PROTECTION FOR THE CHANNEL.

1 TYPICAL GRASS SWALE NTS



NOTE: PAVEMENT SECTION MAY VARY DEPENDING UPON FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE w/OWNER & GEOTECHNICAL ENGINEER TO DETERMINE ACTUAL PAVEMENT SECTION.

4 TYPICAL ASPHALT SECTION NTS

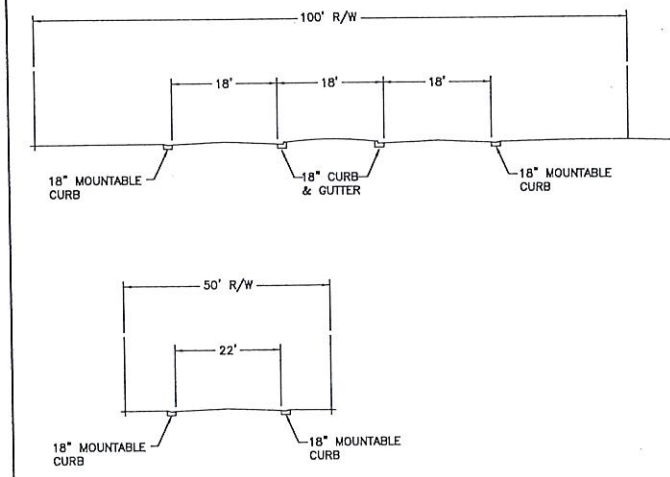


LEGEND AND BORDER - GREEN BACKGROUND  
 WHITE SYMBOL ON BLUE BACKGROUND - WHITE R7-8

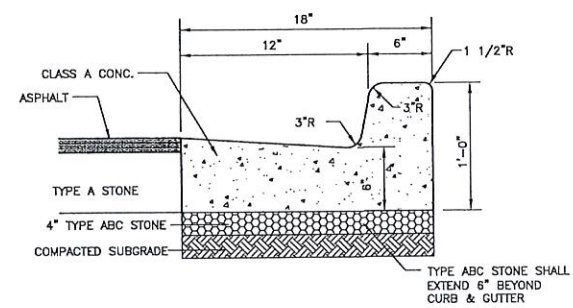
LEGEND AND BORDER - GREEN BACKGROUND  
 WHITE SYMBOL ON BLUE BACKGROUND - WHITE R7-82

LEGEND AND BORDER - GREEN BACKGROUND  
 WHITE SYMBOL ON BLUE BACKGROUND - WHITE VAN ACCESSIBLE

7 TYPICAL HANDICAPPED SIGN DETAIL

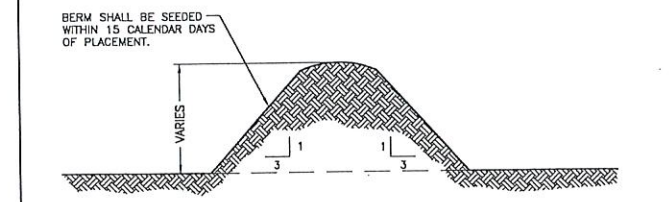


2 TYPICAL ROAD CROSS SECTIONS NTS

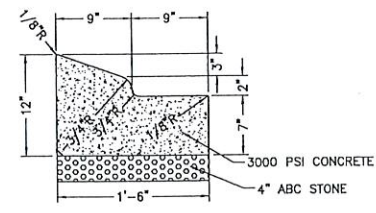


NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

5 TYPICAL CURB AND GUTTER DETAIL NTS



3 TYPICAL BERM DETAIL NTS



MOUNTABLE CURB

6 TYPICAL MOUNTABLE CURB DETAIL NTS

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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DETAILS

OWNER: . . . . .

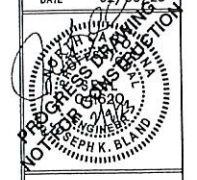
**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
 2602 IRON GATE DR., SUITE 102 1429 ASH-LITTLE RIVER RD., NW  
 WILMINGTON, NC 28412 ASH, NC 28420  
 PHONE (910) 343-9655 PHONE (910) 281-5900

Licence #C-3641

22043

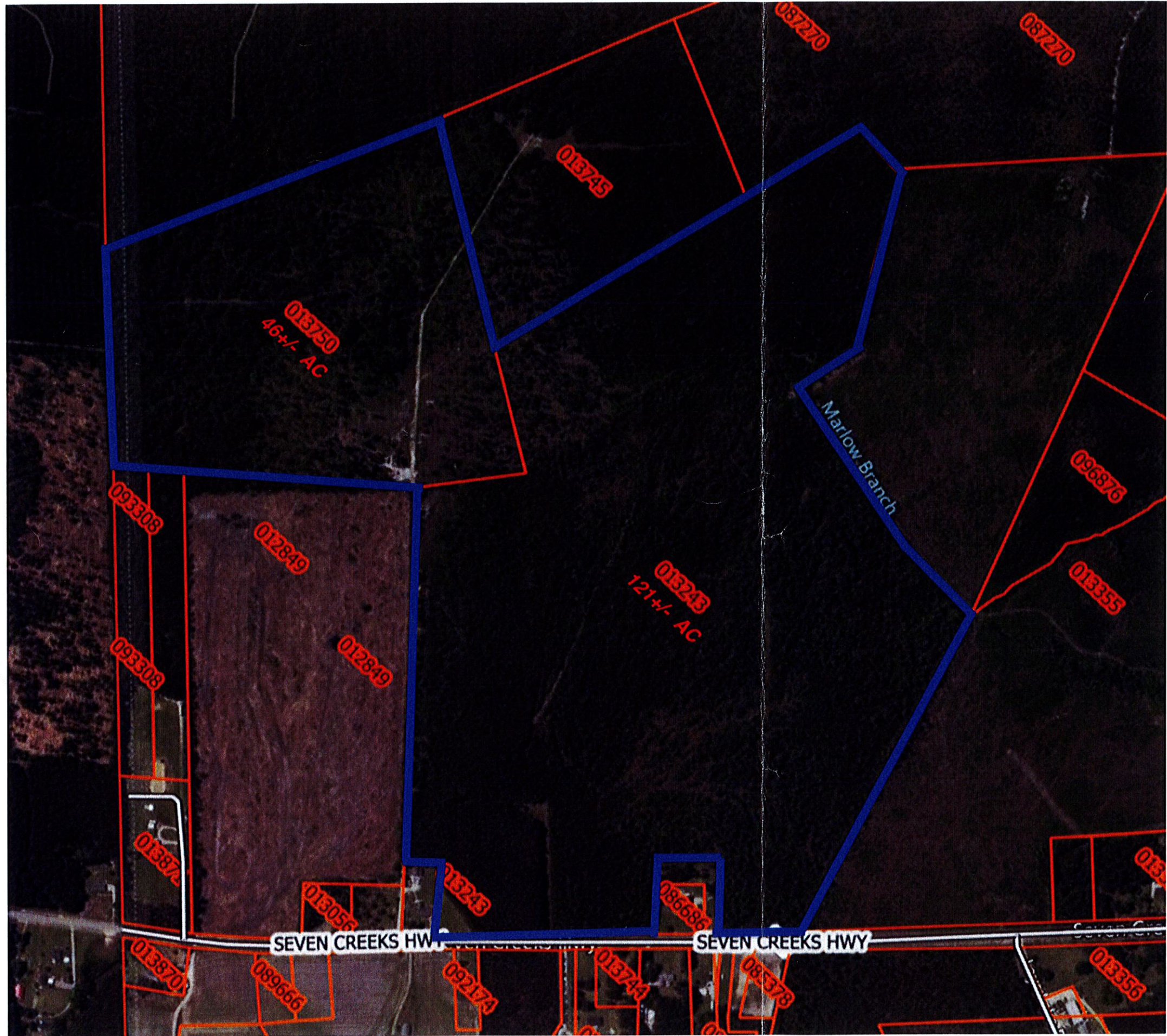
DEN. JPN  
 CHK. JPN  
 DRWN. EDB

DATE 02/09/23



C4.1





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REVISIONS			
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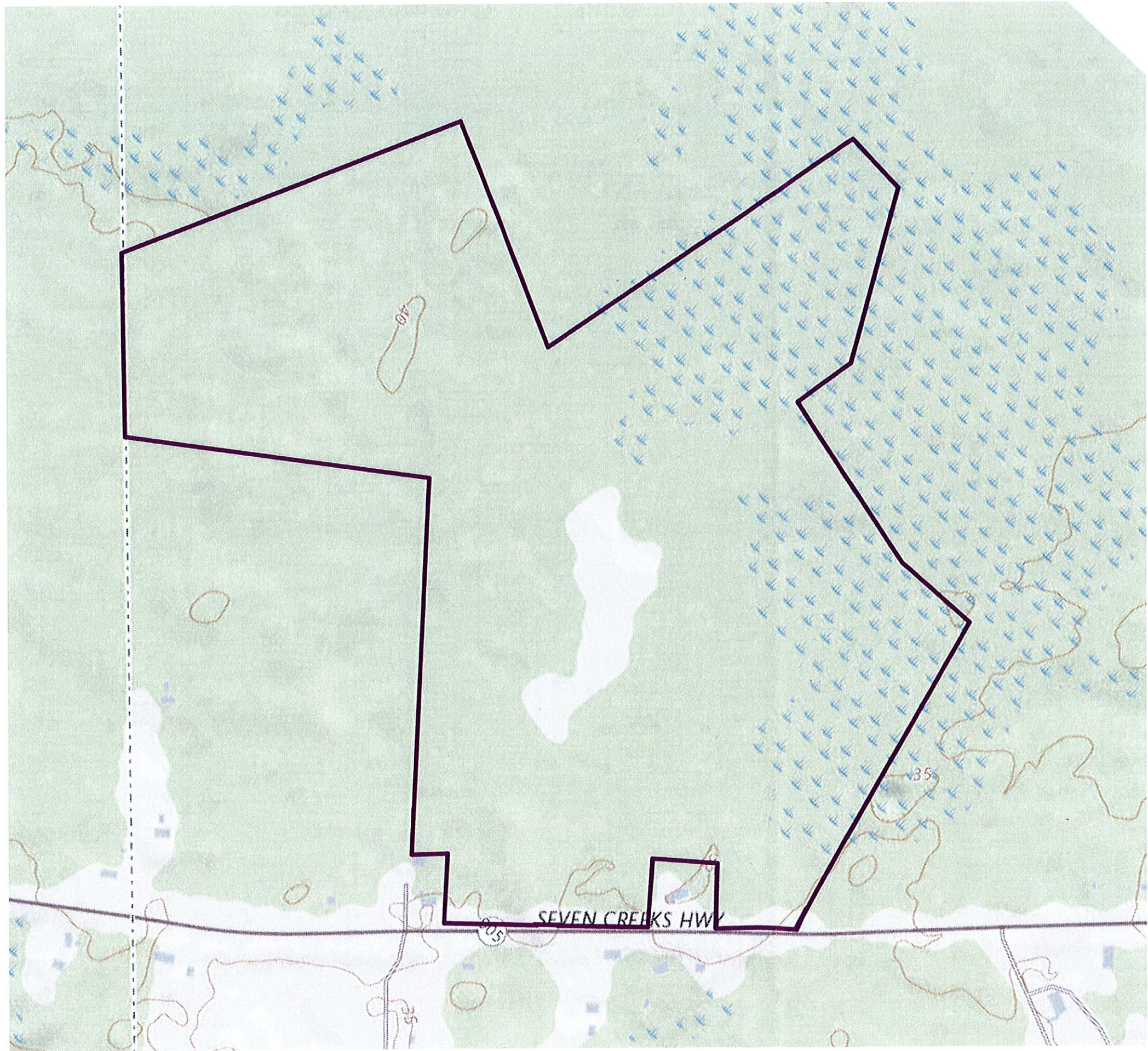
**PARCEL NUMBERS & ACREAGE**  
 MCGILL MEADOWS  
 ---  
 COLUMBUS COUNTY, NORTH CAROLINA

DEVELOPER

**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
2602 IRON GATE DR., SUITE 102    1429 ASHLITTLE RIVER RD. NW  
 WILMINGTON, NC 28412    ASH, NC 28420  
 PHONE: (910) 343-9653    PHONE: (910) 287-5900

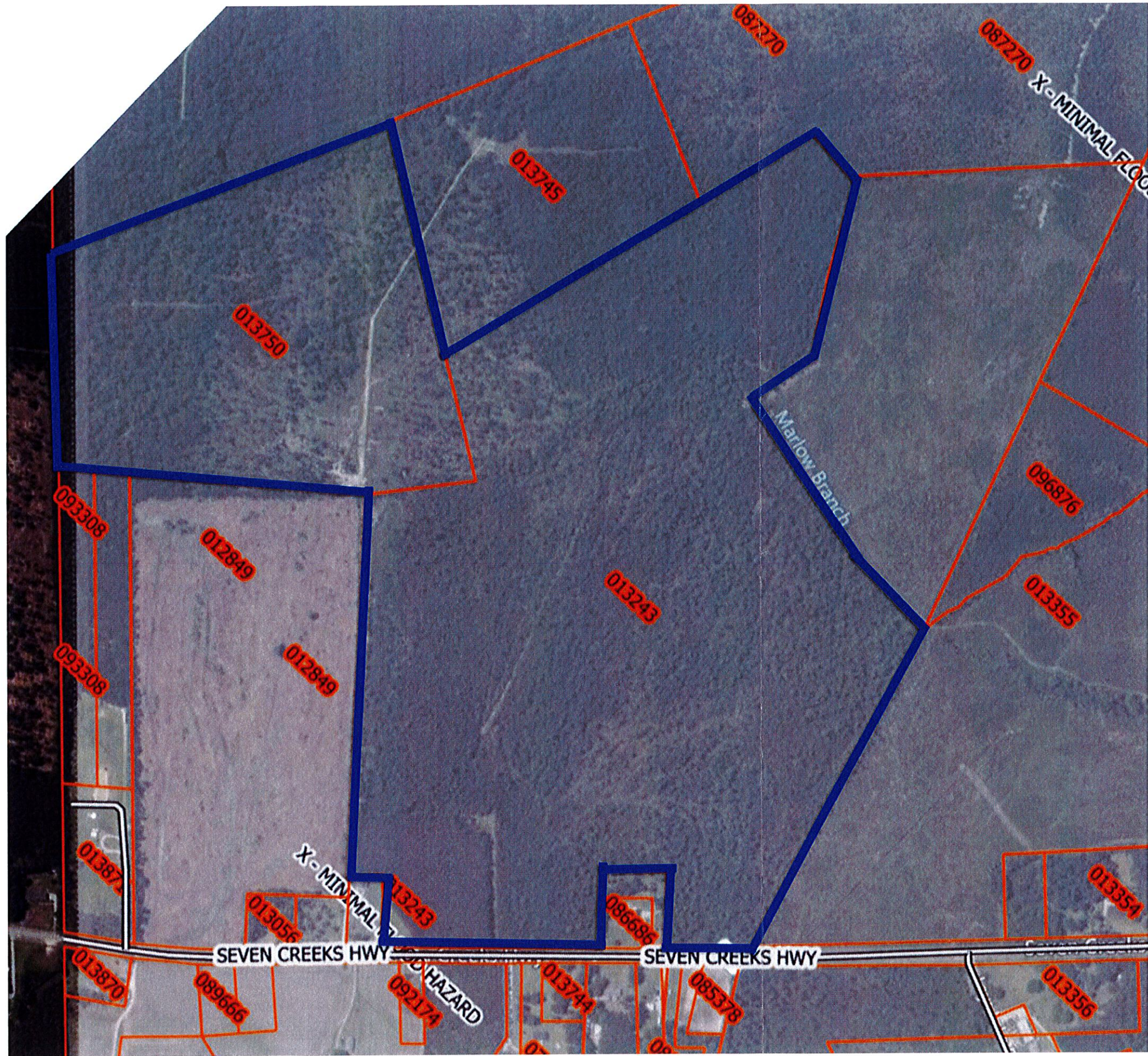
Licence #C-3641  
**22043**  
 DES. JPN  
 ORD. JPN  
 DRAWN. EDB  
 DATE 03/14/23

**EX1**



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
© 2022 NORRIS & TUNSTALL			

<b>USGS</b> MCGILL MEADOWS -- COLUMBUS COUNTY, NORTH CAROLINA	DEVELOPER	<b>NORRIS &amp; TUNSTALL</b> CONSULTING ENGINEERS P.C. <small>2602 IRON GATE DR., SUITE 102    1429 ASH LITTLE RIVER RD. NW          WILMINGTON, NC 28412    ASH, NC 28420          PHONE: (910) 343-9653    PHONE: (910) 287-5900</small>	Licence #C-3641 <b>22043</b> DES. JPN CDR. JPN DRWN. EDB DATE 03/14/23
<b>EX2</b>			

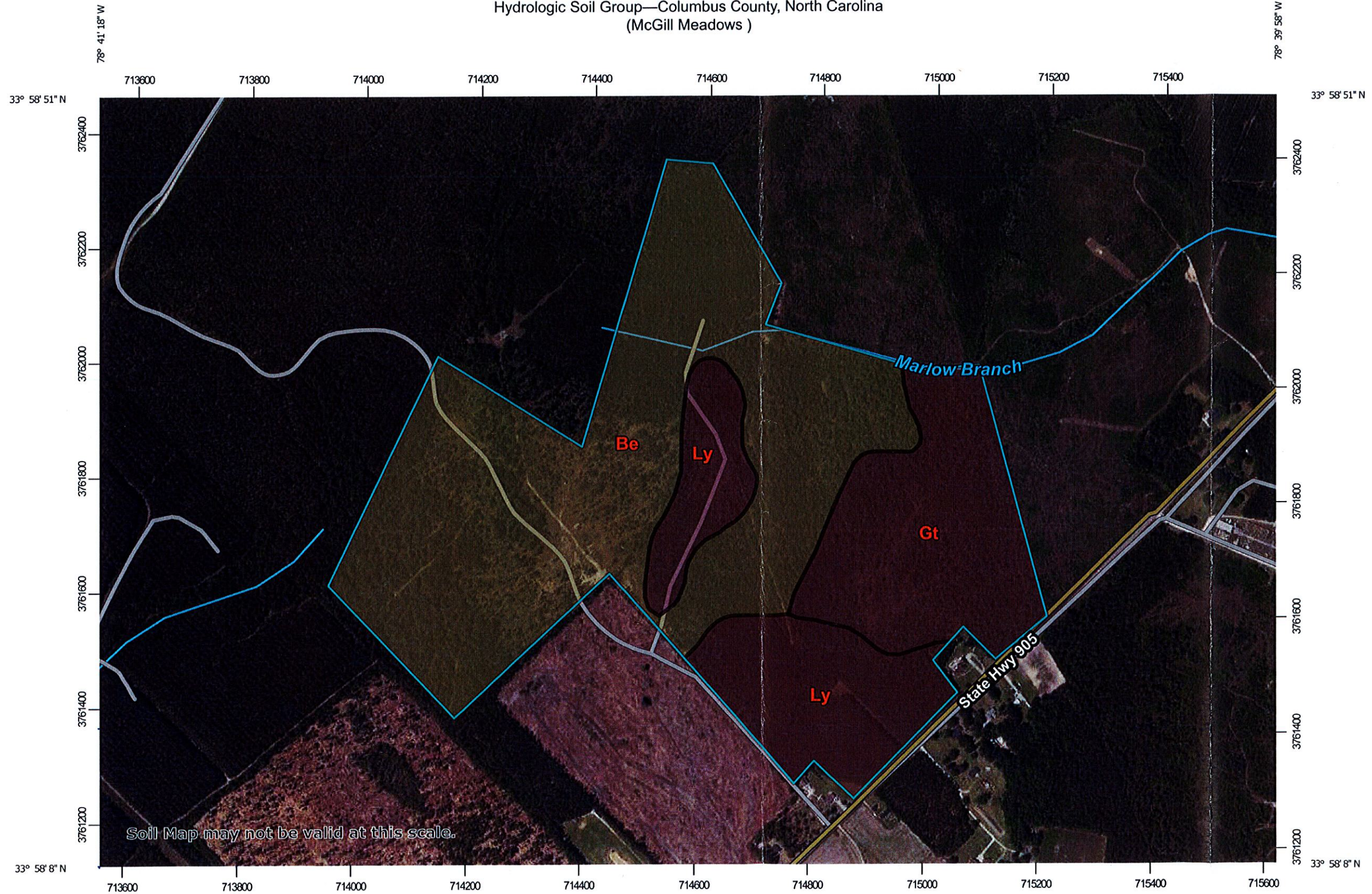


NOTE:  
NO FLOOD ZONES PRESENT WITHIN PROJECT LIMITS.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
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<p><b>NORRIS &amp; TUNSTALL</b> — CONSULTING ENGINEERS P.C. — 2602 IRON GATE DR., SUITE 102    1429 ASH LITTLE RIVER RD, NW COLUMBUS, GA 31906    ASH LITTLE RIVER, GA 31009 PHONE: (706) 343-9633</p>	<p>DEVELOPER</p> <p>FEMA McGILL MEADOWS — COLUMBUS COUNTY, NORTH CAROLINA</p>	<p>Licence #C-3641</p> <p><b>22043</b></p> <p>DES. JPN CHKD. JPN DRWN. EDB</p> <p>DATE 03/14/23</p>
EX3		

Hydrologic Soil Group—Columbus County, North Carolina  
(McGill Meadows)



SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
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SOILS  
McGILL MEADOWS  
-  
COLUMBUS COUNTY, NORTH CAROLINA

DEVELOPER

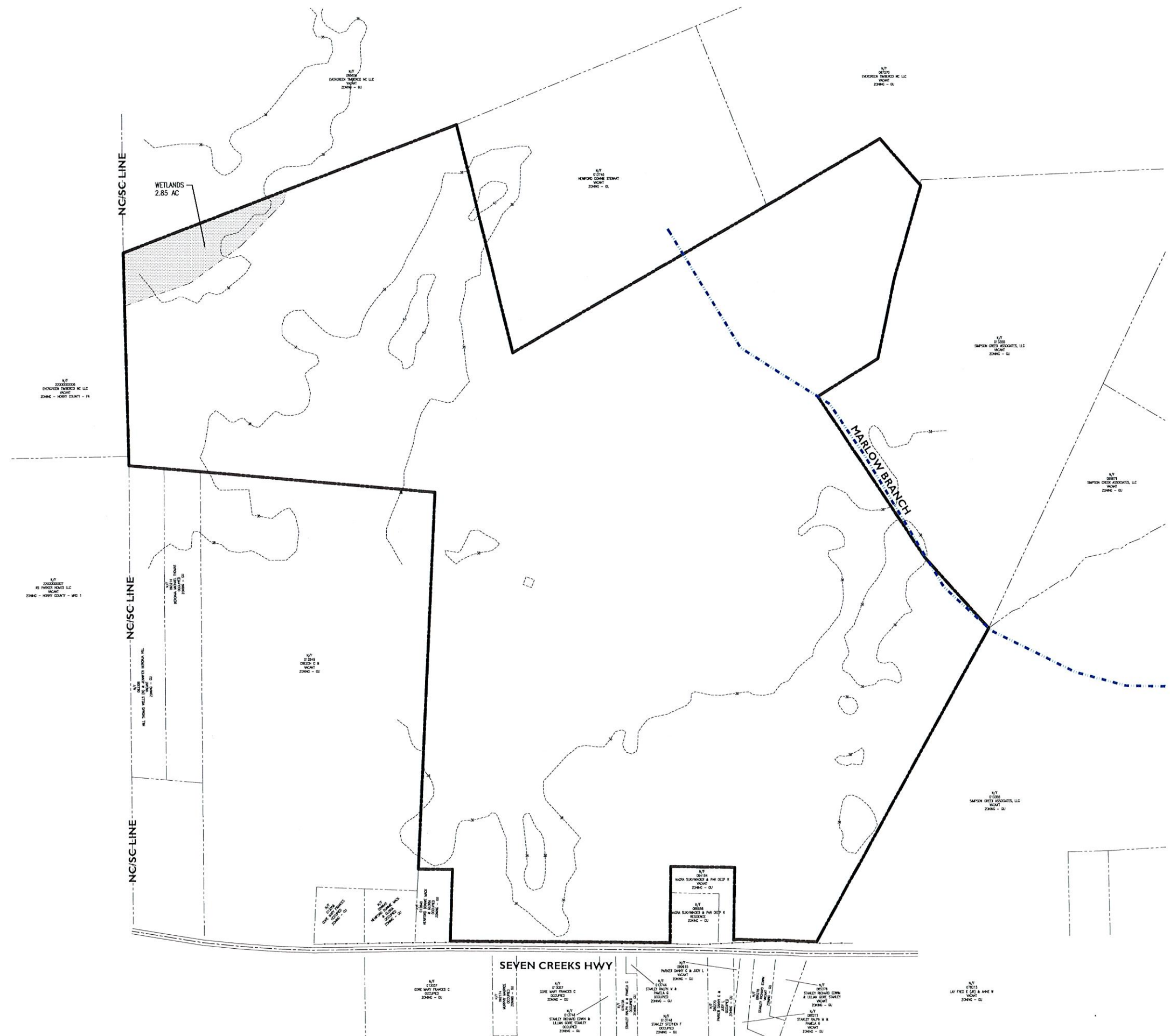
**NORRIS & TUNSTALL**  
— CONSULTING ENGINEERS P.C. —  
2008 IRON GATE DR., SUITE 102 1429 ASH LITTLE RIVER RD. NW  
WILMINGTON, NC 28412 ASH, NC 28420  
PHONE: (910) 343-9653 PHONE: (910) 287-5900

Licence #C-3641

22043

DES. JPN  
CHK. JPN  
DRWN. EDB  
DATE 03/14/23

EX4



NG/SC-LINE

WETLANDS  
2.85 AC

MARLOW BRANCH

SEVEN CREEKS HWY

NOTE:  
ALL BOUNDARY & TOPOGRAPHIC INFORMATION HAS BEEN DIGITIZED  
UTILIZING GIS INFORMATION.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
		© 2022 NORRIS & TUNSTALL	

LIDAR  
McGILL MEADOWS  
-  
COLUMBUS COUNTY, NORTH CAROLINA

DEVELOPER

# NORRIS & TUNSTALL

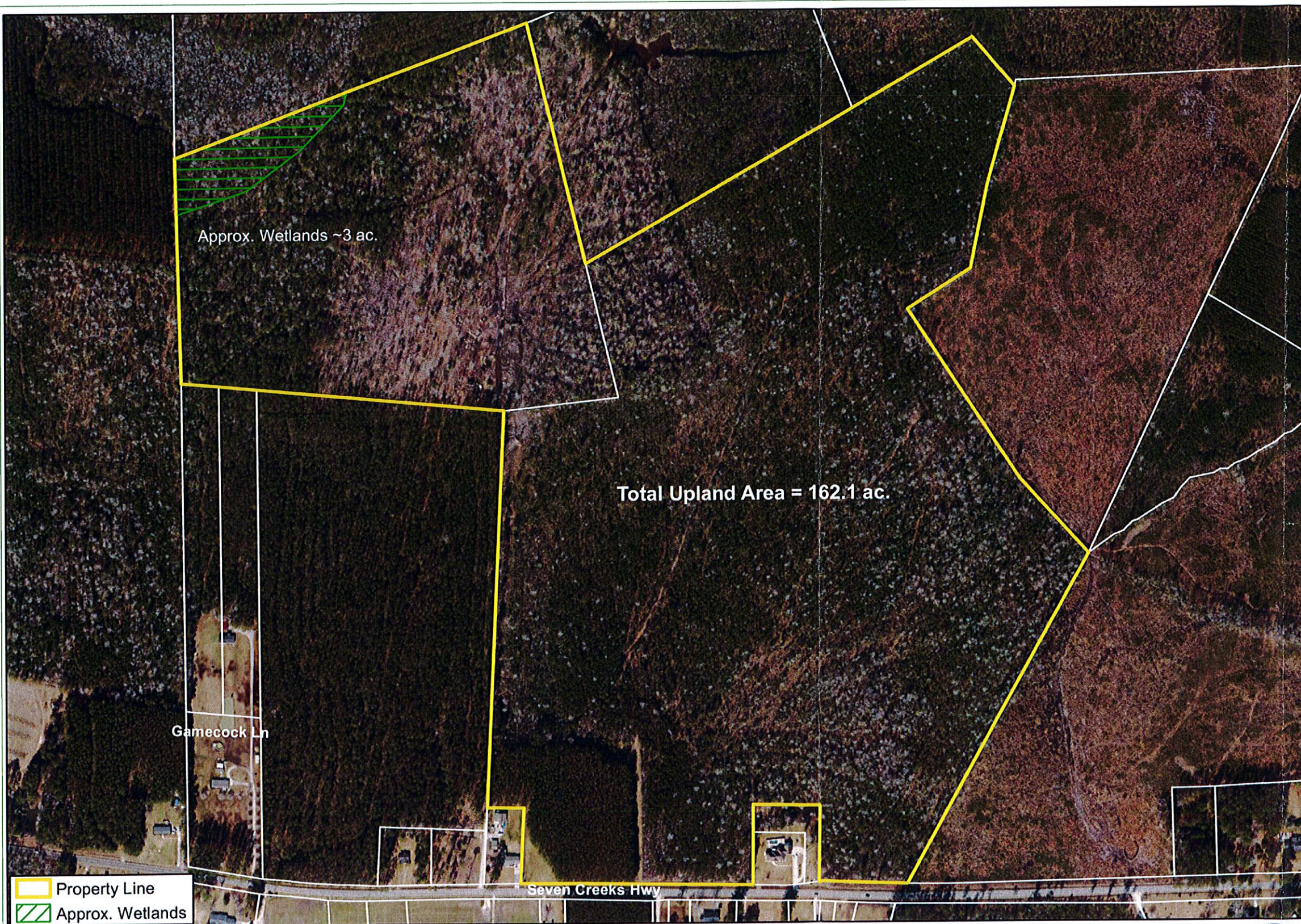
CONSULTING ENGINEERS P.C.  
2602 IRON GATE DR., SUITE 102 1429 ASH-LITTLE RIVER RD. NW  
ALBUQUERQUE, NM 87105-3412  
PHONE: (505) 343-9663 PHONE: (910) 287-5900

License #C-3641

22043

DES.	JPN
CHK.	JPN
DRWN.	EDB
DATE	03/14/23

EX5



Property Line  
 Approx. Wetlands

**Cursory Environmental Evaluation**  
**160-ac. Olyphic Tracts**  
**Olyphic, Columbus Co., NC**  
**3/4/2022**



Map Source: 2020 NC CGIA Orthoimagery



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
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DEVELOPER  
**WETLANDS**  
**McGILL MEADOWS**  
 --  
 COLUMBUS COUNTY, NORTH CAROLINA

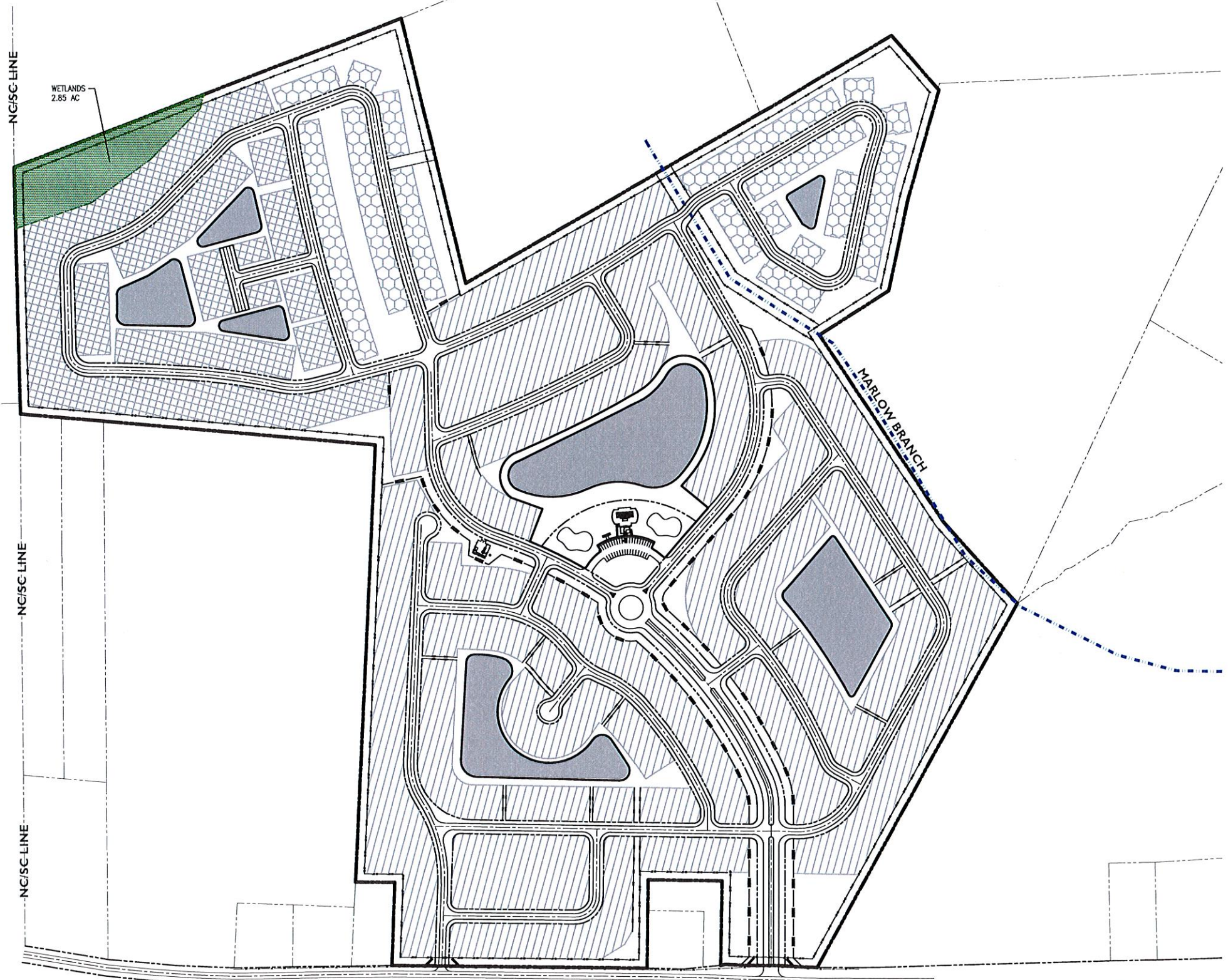
**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
2602 IRON GATE DR. SUITE 102 1429 ASHLITTLE RIVER RD. NW  
 WILMINGTON, NC 28412 ASH, NC 28420  
 PHONE: (910) 343-9653 PHONE: (910) 287-5900

Licence #C-3641

**22043**

DES. JPN  
 CHD. JPN  
 DRWN. EDB  
 DATE 03/14/23

**EX6**



LEGEND	
	WET PONDS
	SINGLE FAMILY BUILDABLE AREA
	MULTI FAMILY BUILDABLE AREA (DUPLEXS)
	MULTI FAMILY BUILDABLE AREA (TOWN HOMES)
	WETLANDS
	STREAM

DEVELOPMENT DATA	
TOTAL RESIDENTIAL AREA:	85.35 AC
WETLANDS:	2.85 AC
% WETLANDS AREA:	3.34%

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
		© 2022 NORRIS & TUNSTALL	

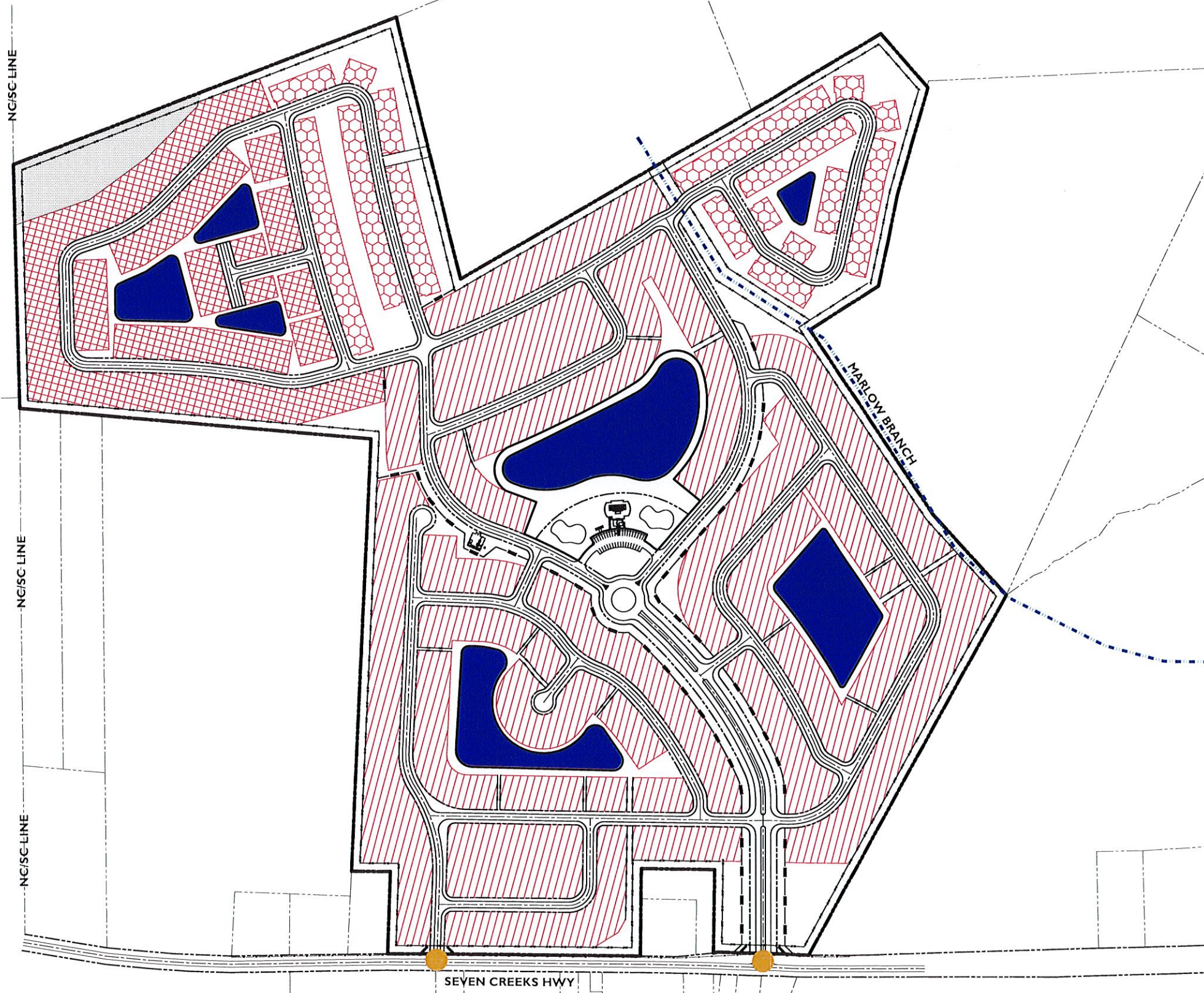
ENVIRONMENTAL FEATURES  
 MCGILL MEADOWS  
 COLUMBUS COUNTY, NORTH CAROLINA

DEVELOPER

**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
 2605 IRON GATE DR. SUITE 102 1429 ASHLITTLE RIVER RD. NW  
 WILMINGTON, NC 28412 ASHL, NC 28420  
 PHONE (910) 343-9653 PHONE (910) 287-5900

Licence #C-3641	
<b>22043</b>	
DES.	JPN
CHK.	JPN
DRWN.	EDB
DATE	03/14/23

**EX7**



### LEGEND

	WET PONDS
	SINGLE FAMILY BUILDABLE AREA
	MULTI FAMILY BUILDABLE AREA (DUPEXES)
	MULTI FAMILY BUILDABLE AREA (TOWN HOMES)
	ACCESS POINT

### DEVELOPMENT DATA

TOTAL SITE AREA:	167.0 AC
WETLANDS:	2.85 AC
TOTAL SINGLE FAMILY AREA:	59.04 AC
TOTAL SINGLE FAMILY UNITS:	364
TOTAL MULTI FAMILY AREA: (TOWN HOMES)	10.41 AC
TOTAL MULTI FAMILY UNITS: (TOWN HOMES)	223
TOTAL MULTI FAMILY AREA: (DUPEXES)	15.90 AC
TOTAL MULTI FAMILY UNITS: (DUPEXES)	126
TOTAL RESIDENTIAL AREA:	85.35 AC
TOTAL RESIDENTIAL UNITS:	713
GROSS DENSITY:	4.27 UNITS/AC
BUILDABLE AREA:	162.44 AC
NET DENSITY:	4.39 UNITS/AC

NOTE:  
CONCEPT LAND PLAN DEPICTS CURRENT DEVELOPMENT MODEL.  
FINAL DEVELOPMENT PLAN AND LAYOUTS MAY VARY  
FROM CURRENT DEPICTION.

- NOTE:
1. LOCAL STREETS WILL HAVE 18" MOUNTABLE CURB WITHIN A 50' RIGHT OF WAY.
  2. ALL PROPOSED STREET RIGHT OF WAYS WILL BE PRIVATE AND MAINTAINED BY POA/HOA.
  3. UTILITY & DRAINAGE EASEMENTS WILL BE PROVIDED AS NECESSARY DURING DESIGN PHASE.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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DEVELOPMENT PLAN  
MCGILL MEADOWS  
COLUMBUS COUNTY, NORTH CAROLINA

DEVELOPER

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS P.C.

2602 IRON GATE DR., SUITE 102 WILMINGTON, NC 28412  
1429 ASHLITTLE RIVER RD. NW ASHL, NC 28420  
PHONE: (910) 343-9653 PHONE: (910) 287-5900

Licence #C-3641

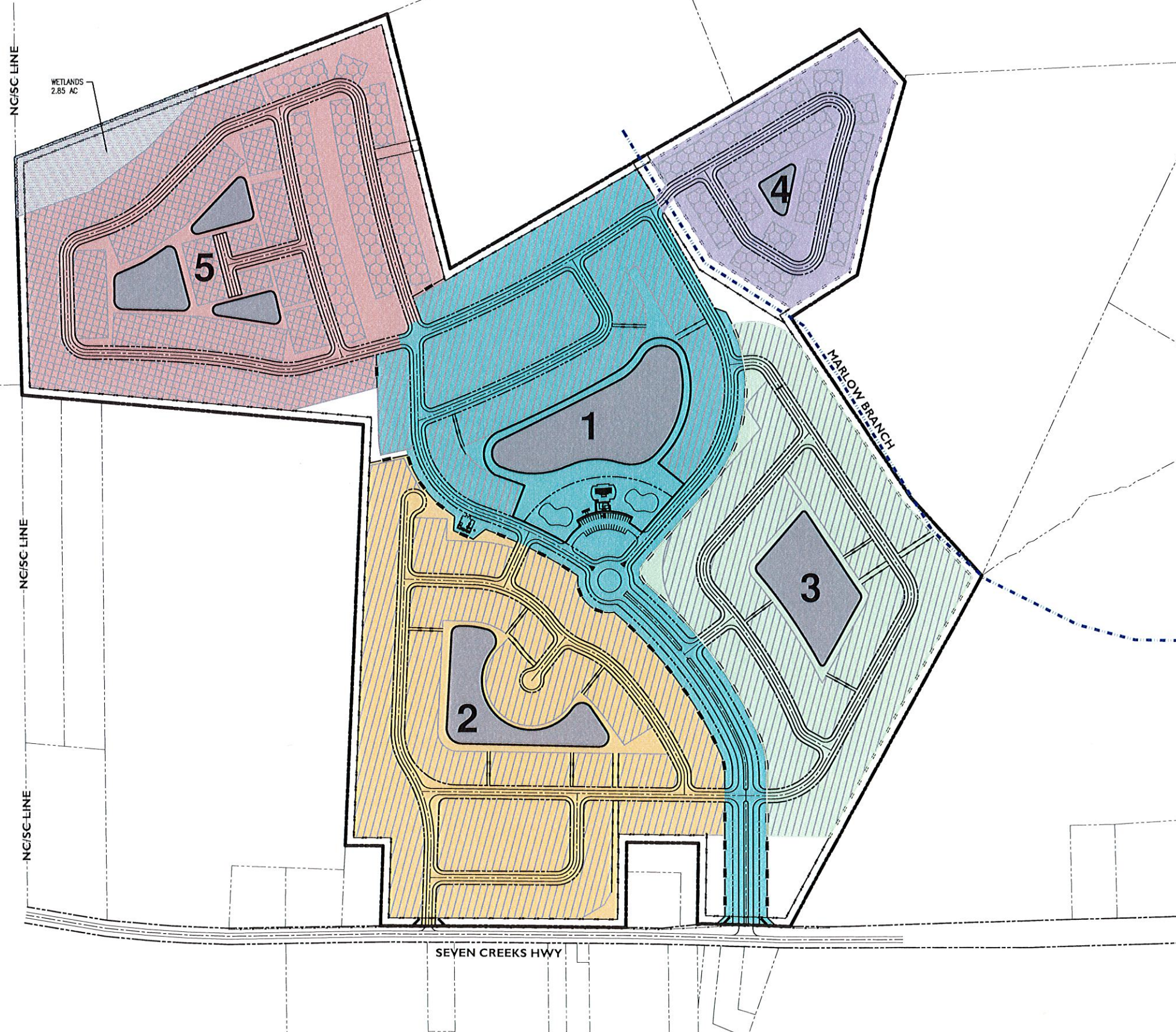
**22043**

DES. JPN  
CHK. JPN  
DRWN. EDB

DATE 03/14/23

**EX8**





LEGEND	
	PHASE 1
	PHASE 2
	PHASE 3
	PHASE 4
	PHASE 5

NOTE:  
ALL PHASES ARE SCHEMATIC & ARE SUBJECT TO CHANGE AT DEVELOPER'S DISCRETION.



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**PHASING PLAN**  
**McGILL MEADOWS**  
COLUMBUS COUNTY, NORTH CAROLINA

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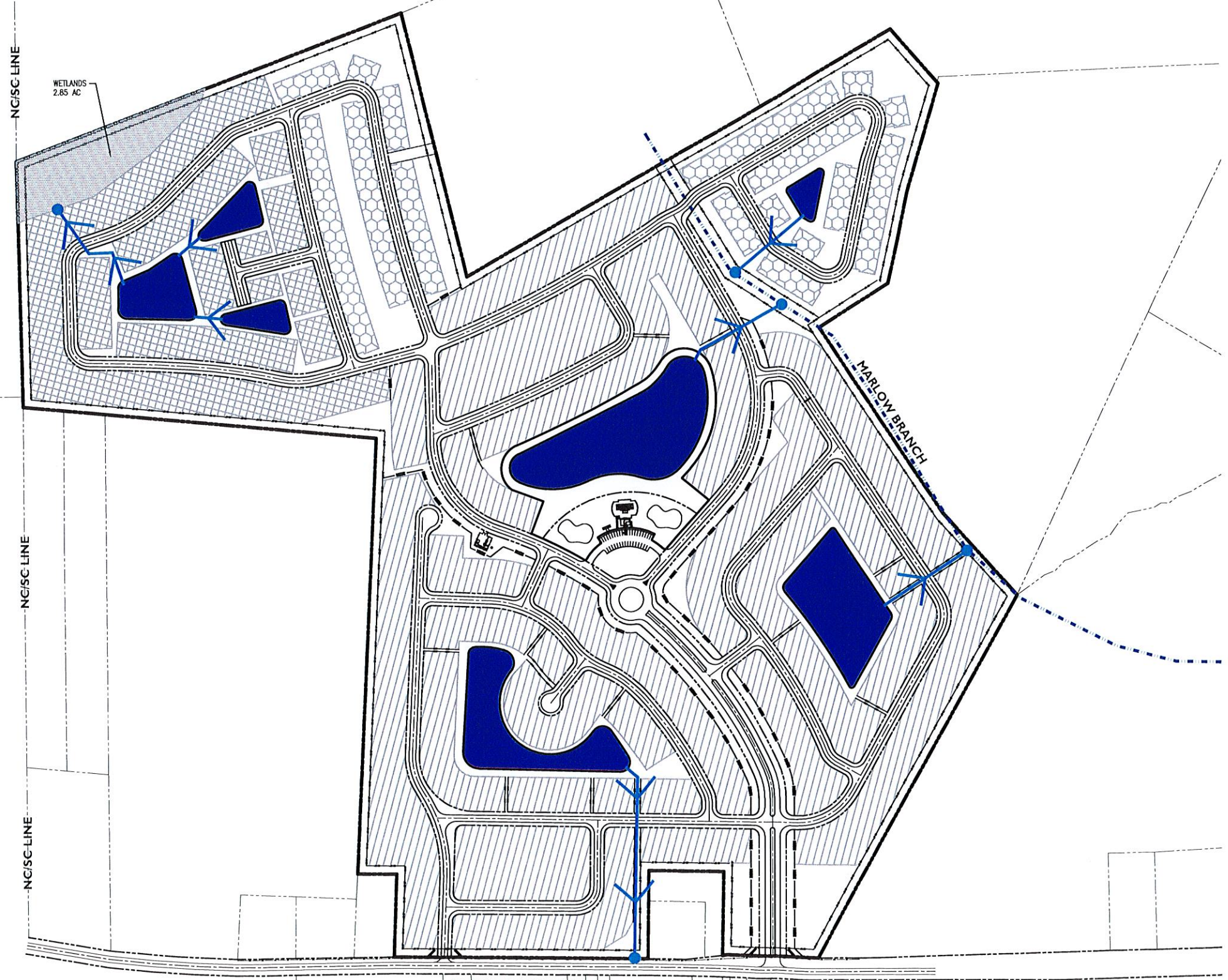
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DATE	03/14/23

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**EX9**



LEGEND	
	MARLOW BRANCH
	MARLOW BRANCH
	SITE OUTFALL

DEVELOPMENT DATA	
TOTAL POND AREA:	504,920 SF
AVAILABLE STORAGE VOLUME:	1,009,840 CF

\* NOTE: STORMWATER FACILITIES AND ROUTING SHOWN HERE ARE CONCEPTUAL IN NATURE, FINAL STORMWATER FACILITY LAYOUT, SIZE, AND ROUTING MAY VARY IN FINAL CONSTRUCTION PLANS.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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STORMWATER MASTER PLAN  
 McGill Meadows  
 COLUMBUS COUNTY, NORTH CAROLINA

DEVELOPER

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**EX10**

NC/SC LINE

NC/SC LINE

NC/SC LINE

WETLANDS  
2.85 AC

MARLOW BRANCH

SEVEN CREEKS HWY

CONNECT SSFM TO EXISTING  
GWSA SSFM WITHIN SC.



LEGEND	
	WATERMAIN
	GRAVITY SEWER
	FORCEMAIN
	PUMP STATION

SYMBOL	DATE	DESCRIPTION	BY
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UTILITY MASTER PLAN  
**McGILL MEADOWS**  
 COLUMBUS COUNTY, NORTH CAROLINA

DEVELOPER

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**EX11**



LEGEND	
	30' PERIMETER BUFFER
	COMMON GREEN SPACE
	WET PONDS
	RECREATIONAL OPEN SPACE

DEVELOPMENT DATA	
OPEN SPACE REQUIRED:	
TOTAL UNITS:	713
RECREATIONAL OPEN SPACE:	713(2.45)(0.01)=17.47 AC
COMMON OPEN SPACE:	(713(2.45)(0.01))/2=8.74 AC
TOTAL REQUIRED:	26.21 AC
OPEN SPACE PROVIDED:	
RECREATIONAL OPEN SPACE:	890,215 SF / 20.44 AC
COMMON OPEN SPACE:	1,309,646 SF / 30.07 AC
TOTAL PROVIDED:	2,199,861 SF / 50.51 AC

NOTE: ALL BUFFERS TO REMAIN UNDISTURBED ALL GREEN SPACE AREAS ARE AVAILABLE FOR COMMON USE. AMENITY AREA & POND AREAS WILL HAVE INTERCONNECTED WALKING TRAILS FOR PEDESTRIAN ACCESS. ALL POND AREAS TO BE UTILIZED FOR RECREATION USES SUCH AS WALKING TRAILS, FISHING & KAYAKING.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
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OPEN SPACE PLAN  
 MCGILL MEADOWS  
 COLUMBUS COUNTY, NORTH CAROLINA

DEVELOPER

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 Ckd. JPN  
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 DATE 03/14/23

**EX12**